



Community Development – Zoning Division

Item No. 6.

John Pederson – Division Manager

Cobb County...Expect the Best!

ZONING CASE #

Z-6-2021

SITE BACKGROUND

Applicant	Loyd Development Services
Phone	770-868-7591
Email	john@loyddevelopment.com
Representative Contact	Garvis L. Sams, Jr.
Phone	770-422-7016
Email	gsams@samslarkinhuff.com
Titleholder	Southern Development Ventures, LLC
Property Location	Located on the east side of South Gordon Road, the southwest side of Mableton Parkway, south of the intersection of South Gordon Road and Mableton Parkway, west of Dodgen Road
Address	6590 Mableton Parkway
Access to Property	South Gordon Road and Mableton Parkway

QUICK FACTS

Commission District	4
Current Zoning	NRC, LRO, RA-5
Current Use of Property	Undeveloped, vacant lot
Proposed Zoning	RM-8
Proposed Use	Townhome Community
Future Land Use Designation	MDR
Site Acreage	12.37
District	18
Land Lot	297, 388
Parcel #	18038800010
Taxes Paid	Yes

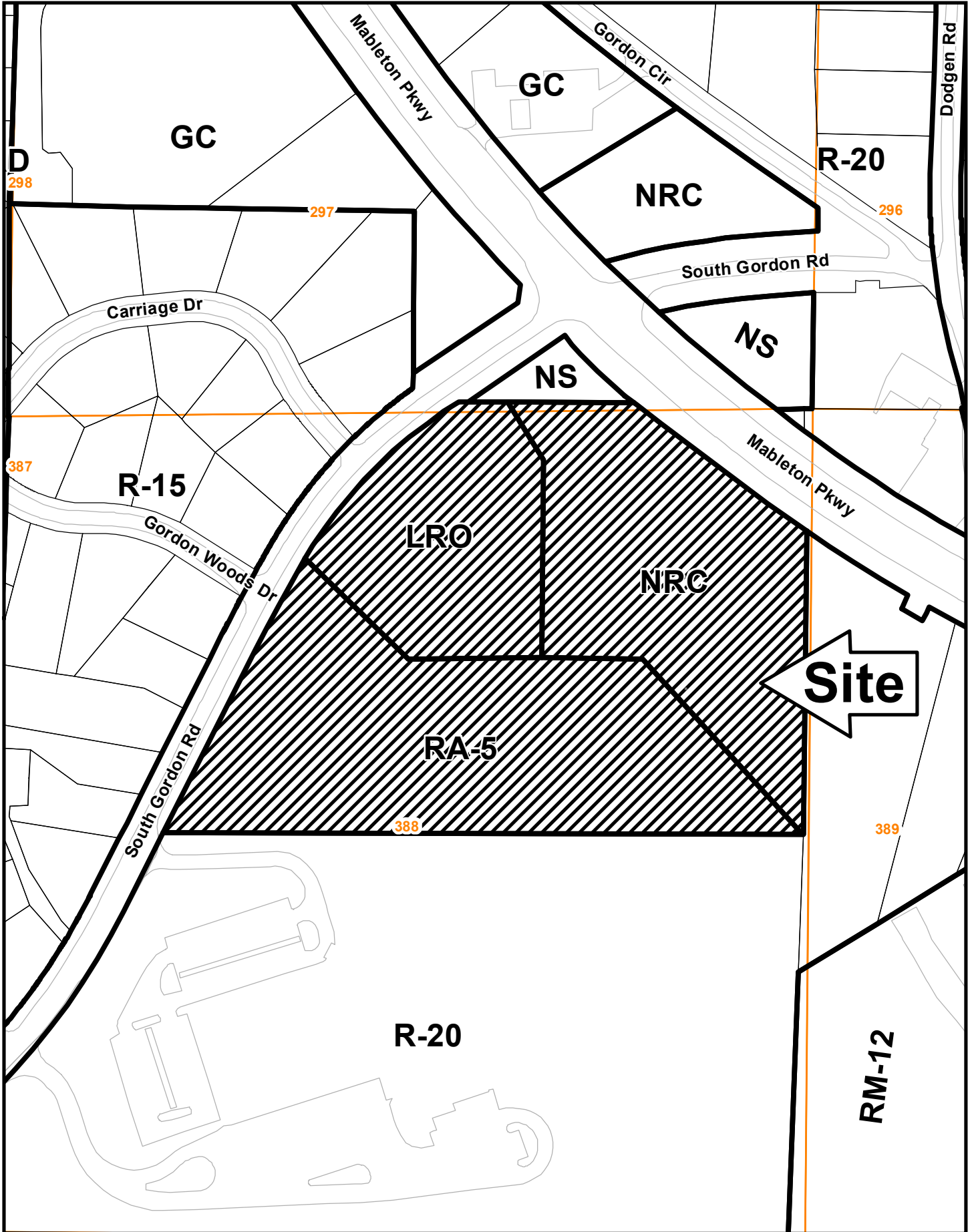
FINAL ZONING STAFF RECOMMENDATIONS

STIPULATIONS - SUBJECT TO PLANNING COMMISSION RECOMMENDATIONS

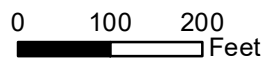
ATTACHMENTS



1. Z-6 GIS
2. Z-6-2021 Site Plan 120320
3. Z-6-2021 Summary of Intent 120320

Z-6

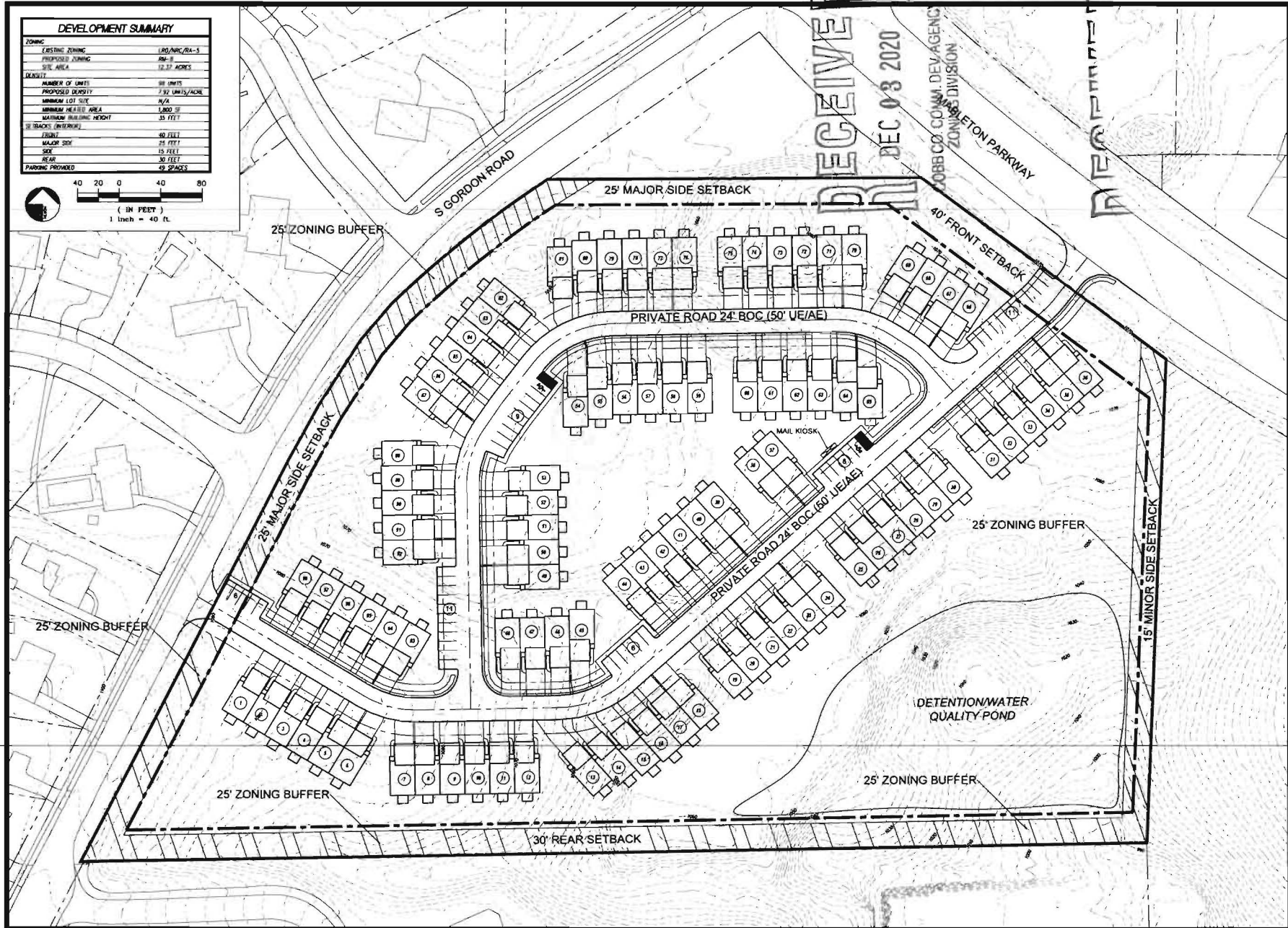
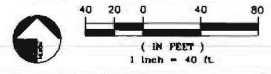


This map is provided for display and planning purposes only. It is not meant to be a legal description.



 Zoning Boundary
 City Boundary

DEVELOPMENT SUMMARY	
ZONING	RSO/ANC/2A-5
EXISTING ZONING	RM-5
PROPOSED ZONING	RSO-5
SITE AREA	12.37 ACRES
DENSITY	
NUMBER OF UNITS	88 UNITS
PROPOSED DENSITY	7.92 UNITS/ACR
MINIMUM LOT SIZE	N/A
MINIMUM HEIGHT AREA	1,800 SF
MAXIMUM BUILDING HEIGHT	35 FEET
FRONT	40 FEET
MAJOR SIDE	25 FEET
REAR	30 FEET
PARKING PROVIDED	42 SPACES



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2008 S. GORDON ROAD, SUITE 200, KENNESAW, GA 30144
 4881 WOODBRIDGE ROAD, SUITE 200, DUBLIN, GA 30098
 770.886.2101

CONSTRUCTION DRAWINGS
SOUTH GORDON ROAD TRACT
 LL 388, 18TH DISTRICT
 COBB COUNTY, GEORGIA



CIVIL CERTIFICATION NUMBER: 80784
 EXPIRATION DATE: 6/14/2023



REVISIONS

Z100

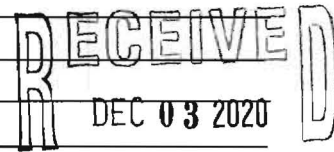
Summary of Intent for Rezoning*

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Part 1. Residential Rezoning Information (attach additional information if needed)

- a) Proposed unit square-footage(s): Minimum of 1,800 square feet, heated space
- b) Proposed building architecture: Traditional and Craftsman in style
- c) List all requested variances: To be determined

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Part 2. Non-residential Rezoning Information (attach additional information if needed)

- a) Proposed use(s): N/A
- b) Proposed building architecture: _____
- c) Proposed hours/days of operation: _____
- d) List all requested variances: _____



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Part 3. Other Pertinent Information (List or attach additional information if needed)

The subject property consists of approximately 12.37 acres of mixed-use zonings with dual road frontages on Mableton Parkway and South Gordon Road. Currently the property is zoned 4.1 acres NRC, 2.3 acres LRO and 5.9 acres RA-5 and lies within an area designated as MDR under the County's Future Land Use Map. The Applicant proposes the development of an upscale Townhome Community (RM-8 attached) and will be effectively a down-zoning of the property. The units would be a minimum of 1,800 square feet in size and would be traditional and craftsman in style and the exterior materials would consist of combinations of brick, stone, siding, shake, and board & batten.

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Part 4. Is any of the property included on the proposed site plan owned by the Local, State, or Federal Government?

(Please list all Right-of-Ways, Government owned lots, County owned parcels and/or remnants, etc., and attach a plat clearly showing where these properties are located). None known at this time.

* Applicant specifically reserves the right to amend any information set forth in this Summary of Intent for Rezoning, or any other portion of the Application for Rezoning, at any time during the rezoning process.