



Cobb County Community Development Agency  
Zoning Division

1150 Powder Springs St. Marietta, Georgia 30064

Case # Z-82  
Public Hearing Dates:  
PC: 12-04-18  
BOC: 12-18-18

---

## SITE BACKGROUND

Applicant: IGBO Union Atlanta

Phone: (770) 823-5013

Email: reuben@arough.com

Representative Contact: Reuben Aniekwu

Phone: (770) 823-5013

Email: reuben@arough.com

Titleholder: IGBO Union Atlanta, USA, Inc.

Property Location: North side of Old Powder Springs Road, and on the west side of Mableton Parkway

Address: 5912 Mableton Parkway, 612, 622, and 648 Old Powder Springs Road

Access to Property: Mableton Parkway and Old Powder Springs Road

---

---

## QUICK FACTS

Commission District: 4-Cupid

Current Zoning: O&I (Office & Institutional), and PSC (Planned Shopping Center)

Current use of property: Vacant commercial building, and single-family houses

Proposed zoning: CRC (Community Retail Commercial)

Proposed use: Assembly Hall

Future Land Use Designation: CAC (Community Activity Center)

Site Acreage: 2.22 ac

District: 18

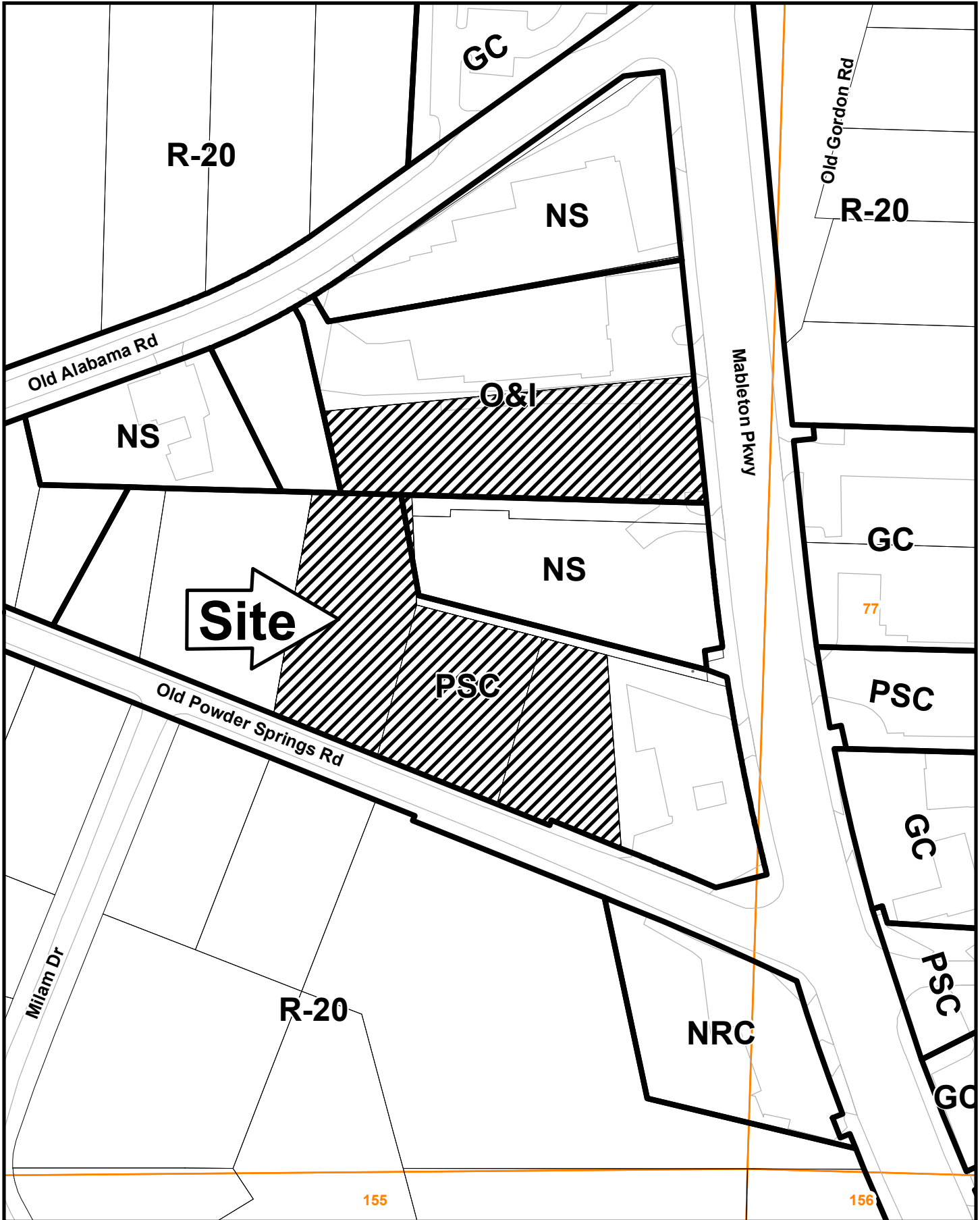
Land Lot: 78

Parcel #: 18007800420, 18007800430, 18007800470, and 18007800480

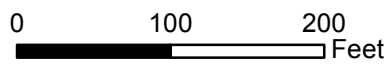
Taxes Paid: Yes



---

# Z-82 2018-GIS



This map is provided for display and planning purposes only. It is not meant to be a legal description.



-  Zoning Boundary
-  City Boundary

Pyramid EDC Consultants, Inc  
 4151 Memorial Drive  
 Building A Suite 2048  
 Decatur, Ga. 30032  
 PH: 404.297.0750

28-78-  
 (2018)

Site Plan  
 5912 Mableton Parkway  
 Land Lot 78 - 18th District  
 Cobb County, Georgia



C-1



**Vicinity Map**  
 SCALE: 1" = 100'

- OWNER & DEVELOPMENT NOTES:**
- PROPERTY LOCATION: 7812 MABLETON PARKWAY, MABLETON, GEORGIA, COBB COUNTY, GA.
  - PROJECT NUMBER: (RECORDING) 612 Old Powder Springs Road, 622 Old Powder Springs Road, 612 Old Powder Springs Road
  - OWNER/DEVELOPER: 1000 FOUNDATION OF GEORGIA USA INC, 1000 FOUNDATION, MABLETON, GA.
  - ENGINEER/DESIGNER: PYRAMID EDC CONSULTANTS, INC, 4151 MEMORIAL DRIVE, SUITE 2104, DECATUR, GA, 30022, PHONE: (404) 297-0750
  - EXISTING AND STATE WATERWAYS WITHIN 100 FEET OF THE SUBJECT PARCELS
  - EXISTING AND STATE WATERWAYS LOCATED ON THE SUBJECT PARCELS
  - NO PORTION OF THE SUBJECT LOTS WITHIN THE 100 YEAR FLOOD ZONE - PER FIRM PANEL 13067 C0212N, DATED MAP 4, 2013

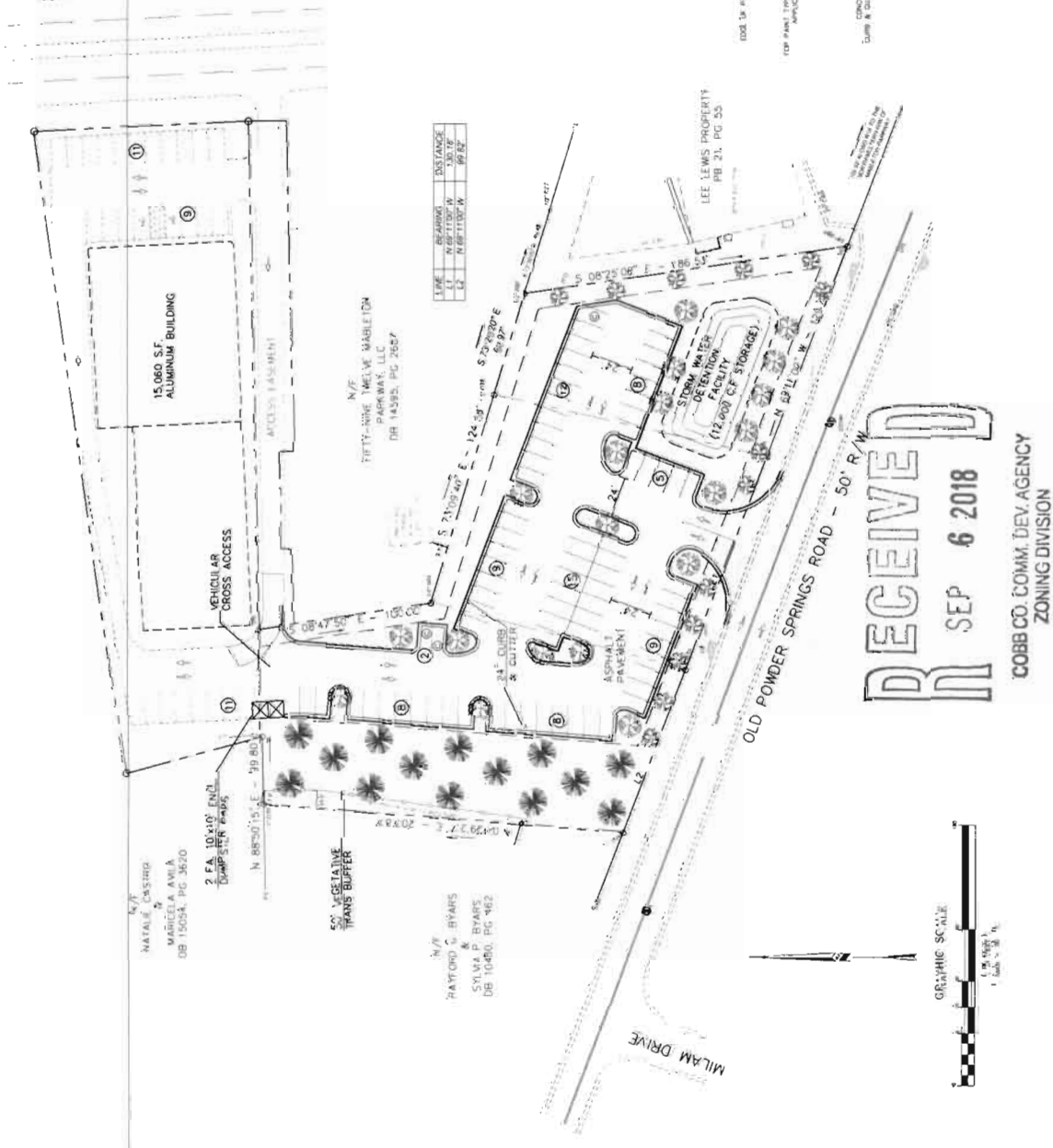
**Site Analysis**

Category	Code	Description
USE	13067	Community Center
SETBACK	10	10' (Minimum)
SETBACK	15	15' (Minimum)
SETBACK	20	20' (Minimum)
SETBACK	25	25' (Minimum)
SETBACK	30	30' (Minimum)
SETBACK	35	35' (Minimum)
SETBACK	40	40' (Minimum)
SETBACK	45	45' (Minimum)
SETBACK	50	50' (Minimum)
SETBACK	55	55' (Minimum)
SETBACK	60	60' (Minimum)
SETBACK	65	65' (Minimum)
SETBACK	70	70' (Minimum)
SETBACK	75	75' (Minimum)
SETBACK	80	80' (Minimum)
SETBACK	85	85' (Minimum)
SETBACK	90	90' (Minimum)
SETBACK	95	95' (Minimum)
SETBACK	100	100' (Minimum)



STRIPING MATERIAL SHALL MEET ALL APPLICABLE REQUIREMENTS OF D.O.T. STANDARDS FOR APPLICATION AND DURABILITY

MABLETON PARKWAY R/W VARIES



**RECEIVED**  
 SEP 6 2018  
 COBB CO. COMM. DEV. AGENCY  
 ZONING DIVISION



GRAPHIC SCALE  
 1" = 50'

RECEIVED  
SEP 6 2018

COBB CO. COMM. DEV. AGENCY  
ZONING DIVISION

Application No. 2-82

Dec. 2018

# Summary of Intent for Rezoning

.....  
Part 1. Residential Rezoning Information (attach additional information if needed)

- a) Proposed unit square-footage(s): \_\_\_\_\_
- b) Proposed building architecture: \_\_\_\_\_
- c) List all requested variances: \_\_\_\_\_

.....  
Part 2. Non-residential Rezoning Information (attach additional information if needed)

- a) Proposed use(s): COMMUNITY ACTIVITY CENTER /  
PLACE OF GATHERING
  - b) Proposed building architecture: ONE - STORY PRE-ENGINEERED  
METAL BLDG TO BE RENOVATED INTO BLOCK / BRICK STRUCTURE
  - c) Proposed hours/days of operation: WEEKENDS - FRIDAYS,  
SATURDAYS AND SUNDAYS OCCASIONALLY; 8.00 PM - 3 AM  
(FRIDAY, SAT.)  
5 PM - 12 AM  
(SUNDAYS)
  - d) List all requested variances: —
- BUILDING INTERIOR LAYOUT, BLD RENDERING ATTACHED

.....  
Part 3. Other Pertinent Information (List or attach additional information if needed)

.....  
Part 4. Is any of the property included on the proposed site plan owned by the Local, State, or Federal Government?

(Please list all Right-of-Ways, Government owned lots, County owned parcels and/or remnants, etc., and attach a plat clearly showing where these properties are located).

\_\_\_\_\_  
\_\_\_\_\_