

GARVIS L. SAMS, JR.  
JOEL L. LARKIN  
PARKS F. HUFF

**SAMS, LARKIN & HUFF**  
A LIMITED LIABILITY PARTNERSHIP  
SUITE 100  
376 POWDER SPRINGS STREET  
MARIETTA, GEORGIA 30064-3448

770•422•7016  
TELEPHONE  
770•426•6583  
FACSIMILE

July 8, 2022

**(STIPULATION LETTER AND IMAGERY)**

**VIA EMAIL**

Mr. John P. Pederson, AICP, Manager  
Cobb County Zoning Division  
Community Development Agency  
1150 Powder Springs Road, Suite 400  
Marietta, GA 30064

Re: Other Business Application of YGLI, LLC to request a Site Plan Amendment and Stipulation Amendments regarding No. Z-51 of 2018 (No. OB-36-2022)

Dear John:

As you know, this firm represents YGLI, LLC ("YGLI") concerning the above captioned Other Business Application. The Application is scheduled to be heard and considered for final action by the Cobb County Board of Commissioners on July 19, 2022.

The property at issue consists of an approximate 0.465-acre tract of land ("Subject Property") which is zoned Neighborhood Retail Commercial ("NRC") and which is located within the confines of a Neighborhood Activity Center ("NAC") under Cobb County's Future Land Use Map ("FLUM"). YGLI is requesting an amendment to the use-specific stipulation/conditions from the previous rezoning (No. Z-51 [2018]) along with a site plan amendment in order to utilize the property for a Positano's Italian restaurant which is a permitted use under the NRC zoning district.

From an historical perspective, the subject property was a part of a larger tract of land which was originally rezoned to NRC in 2004 (No. Z-126). However, that proposed mixed-use retail development never came to fruition. Later, the property surrounding the subject property was rezoned to Conditional NRC specifically for the purposes of a landscape supply company (No. Z-80 [2014]). The subject property is located in a diverse transitional area which includes the landscape company; a Service Station; an auto care center and car wash; a building which formerly housed a bicycle sales and repair shop; and, the trailhead and parking lot which serves the Silver Comet Trail.



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Cobb County Zoning Division  
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While this Application has been pending, we have engaged very positive discussions with representatives of the Mableton Improvement Coalition ("MIC"), area business owners, property owners and area residents and the County's professional staff. In that regard, we've been authorized by YGLI to submit this letter of agreeable stipulations and conditions which, if the Other Business Application is approved as submitted and shall become conditions and a part of the grant of the requested Other Business Application and shall be binding upon the Subject Property thereafter. The stipulations are as follows, to wit:

1. The stipulations and conditions set forth herein shall replace and supersede in full any and all prior stipulations and conditions in whatsoever form which are currently in place concerning the property which constitutes the subject matter of the above-captioned Other Business Application.
2. The Other Business ("OB") Application requests amendments to previously approved use-specific stipulations/conditions and a site plan amendment in substantial conformity to that certain Site Plan prepared by Paul Lee Consulting Engineering Associates submitted with the OB Application on June 14, 2022.
3. The Applicant proposes the remodeling, retrofitting of the existing structure for Positano Pizza Napoletana Restaurant ("Restaurant"). The proposed Restaurant will remodel the existing building for 1,600 square feet of patron area and 1,100 square feet of patron area on the patio.
4. The Applicant agrees that the amendments sought hereunder shall be limited to the uses specifically set forth above.
5. The second story (approximately 900-1,000 square feet) of the existing 4,200 square-foot building will be removed.
6. Utilization of the Restaurant shall be limited to a full capacity of 80 diners/patrons at any one time or as otherwise allowed/mandated by the Cobb County Fire Marshall's Office.
7. The hours of operation for customers will be from 11:00 a.m. until 10:00 pm. and will serve lunch and dinner.
8. The exterior of the existing structure shall be in substantial conformity with the attached renderings/elevations.

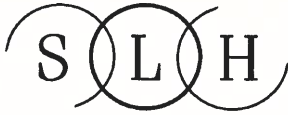


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9. HVAC equipment shall be screened from and made a part of landscaping components to protect and screen the HVAC and mechanical equipment.
10. The dumpster utilized by YGLI shall be situated as shown on the site plan; landscaped in order to shield the dumpster from public vantage points, including streets and sidewalks; enclosed with masonry building materials which are the same, or similar to, the primary structure and which will have gates made of metal; and, which will include a drain to a leech field, if so dictated the by Environmental Health Department for standards regarding dumpster enclosures.
11. The Applicant's branding signage for the Restaurant shall be ground based, monument style signage. The finish, materials, and colors for such signage shall be of the same composition as the Restaurant. Said signage shall contain no digital or flashing sign components; no roof signs; and no exterior temporary signage. In addition to the foregoing, there shall be interior directional signage, as needed, regarding interior maneuverability and directions regarding ingress to/egress from the subject property.
12. Any additional lighting fixtures for the parking areas shall be environmentally sensitive and shall be fitted with non-glare lenses and cut-off shields to prevent light from extending beyond the perimeter of the subject property.
13. Security lighting shall be wall-packs, hooded, environmentally sensitive and also fitted with non-glare lenses and cut-off shields.
14. There shall be no parking allowed on or along Floyd Road or on adjacent properties unless written permission is secured prior thereto.
15. The Applicant agrees to comply with all Cobb County Stormwater Management recommendations regarding detention, water quality and downstream considerations applicable to the Subject Property.
16. All setbacks, landscaping, and buffer areas may be penetrated for purposes of access, utilities and stormwater management, including, but not limited to, detention or water quality and any and all slopes or other required engineering features.



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17. There shall be an Architectural/Landscape Review Committee which shall be charged with the review of any proposed landscaping, signage, fencing or further architectural enhancements. The committee shall consist of a representative of MIC, a representative of the Applicant, and a representative from the Cobb County Community Development Agency. This review shall take place either prior to or during the Plan Review process.
18. The Applicant agrees to comply with the recommendations from the Cobb County Department of Transportation ("DOT") with respect to traffic and transportation issues.
19. The Applicant agrees to comply with all recommendations from the Cobb County Fire Marshall.
20. The District Commissioner shall have the authority to approve certain minor modifications as the development proposal proceeds through the Plan Review process and thereafter, except for those that:
  - a. Reduce the size of an approved buffer adjacent to property which is zoned the same or in a more restrictive zoning district.
  - b. Relocate a structure closer to the property line of an adjacent property which is zoned the same or in a more restrictive zoning district.
  - c. Increase the height of a building which is adjacent to property which is zoned in the same or more restrictive zoning district.
  - d. Violate the Cobb County Zoning Ordinance.
  - e. Change access location(s) to different roadways.
  - f. Would be in direct conflict with or in direct contradiction to Cobb County regulations.

The OB Application is appropriate from a land use planning perspective particularly considering the context of development within which the restaurant will be operated; it meets a need within this sub-area of the County; and, will constitute a quality development which will provide a use that is complementary to surrounding developments and uses.





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Please do not hesitate to contact me should you or the staff require any further information or documentation prior to this Application being heard and considered by the Board of Commissioners on July 19, 2022. With kind regards, I am

Very truly yours,

SAMS, LARKIN & HUFF, LLP

A large, stylized handwritten signature in black ink, which appears to be 'Garvis L. Sams, Jr.', written over the printed name.

Garvis L. Sams, Jr.  
[gsams@samslarkinhuff.com](mailto:gsams@samslarkinhuff.com)

GLS, Jr./jcc

Attachments

cc: ON FOLLOWING PAGE



**VIA EMAIL**

Mr. John P. Pederson, AICP, Manager  
Cobb County Zoning Division  
July 8, 2022  
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cc: Members, Cobb County Board of Commissioners (via email w/attachments)  
Dr. Jackie McMorris, County Manager (via email w/attachments)  
Board of Commissioners Assistants (via email w/attachments)  
Ms. Jessica Guinn, AICP, Director (via email w/attachments)  
Ms. Jeannie Peyton, Senior Planner (via email w/attachments)  
Mr. Terry Martin, Planner III (via email w/attachments)  
Ms. Margie Vazquez, Planner II (via email w/attachments)  
Mr. LeDarius Scott, Planner I (via email w/attachments)  
Ms. Pamela Mabry, County Clerk (via email w/attachments)  
Ms. Robin Stone, Deputy County Clerk (via email w/attachments)  
Ms. Leila Washington, Deputy County Clerk (via email w/attachments)  
Captain Josh Davis, Fire Marshal's Office (via email w/attachments)  
Ms. Amy Diaz, P.E., Cobb DOT (via email w/attachments)  
Ms. Abby Rettig, Cobb DOT (via email w/attachments)  
Mr. Carl Carver, P.E., Stormwater Management Division (via email w/attachments)  
Mr. Tim Davidson, Water System (via email w/attachments)  
Ms. Robin Meyer, Mableton Improvement Coalition ("MIC") (via e-mail w/ attachments)  
Mr. Todd Lindahl, YGLI (via email w/attachments)  
Mr. Tony Tucci, YGLI (via email w/attachments)



**Farm house look**





**Farm house look**





**Side porch sitting look**





**Back porch sitting look**





**Front porch look**





**Side porch garage look**





**Roofing look**





**Dumpster enclosed**



RESERVED

RESERVED

LIST OF DRAWINGS		NOT RELEASED FOR CONSTRUCTION	REVISION DATE							
			1	2	3	4	5	6	7	8
A0.0	PROJECT INFORMATION	•								
AC1.0	CIVIL SITE SKETCH - TEMP	•								
A1.0	LIFE SAFETY PLAN & CODE INFORMATION	•								
A2.0	DEMOLITION FLOOR PLAN	•								
A3.0	PROPOSED FLOOR PLAN	•								
A4.0	REFLECTED CEILING PLAN	•								
A5.0	FINISHES, SPECS & FURNITURE	•								
A6.0	ENLARGED PLANS	•								
A7.0	ENLARGED PLANS	•								
A7.0	EXTERIOR ELEVATIONS	•								

## GENERAL NOTES

- EACH ITEM OF MATERIAL AND EQUIPMENT SHALL EQUAL OR EXCEED THAT DESCRIBED OR INDICATED. THE CONTRACTOR IS HELD DIRECTLY RESPONSIBLE FOR ALL WORK DONE BY SUBCONTRACTORS.
- NO VARIATIONS OR DEVIATIONS FROM THE DETAILS AS DRAWN ARE PERMITTED WITHOUT WRITTEN AUTHORIZATION OR AN ALTERNATE APPROVED DETAIL FURNISHED BY THE ARCHITECT OR OWNERS. UNLESS SPECIFICALLY STATED OTHERWISE, ALL MATERIALS PROVIDED UNDER THIS CONTRACT SHALL BE NEW AND FREE FROM DEFECTS.
- ALL DIMENSIONS ARE WITNESSED TO THE OUTSIDE FACE OF CMU, OR STUD, CENTER OF COLUMNS, TOP OF STRUCTURAL CONCRETE SLAB OR MASONRY OPENINGS OF WINDOWS AND DOORS UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL DEVELOP A COMPLETE SCHEDULE FOR COMPLETION OF THE WORK. THIS SCHEDULE SHALL BE REVIEWED WITH THE OWNER PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR REQUIRED TO FIELD VERIFY ALL DIMENSIONS.
- GENERAL CONTRACTOR SHALL HOLD EXTERIOR GRADES A MINIMUM OF 6" BELOW FINISH FLOOR AND PROVIDE A 5% SLOPE OF GRADE AWAY FROM BUILDING EXTERIOR.
- ALL CONCRETE SHALL BE PROPORTIONED TO DEVELOP 3000 PSI AT 28 DAYS AND HAVE A MAXIMUM SLUMP OF 4" UNO.
- ALL LUMBER IN CONTACT WITH THE GROUND, CONCRETE, MASONRY, OR THE EXTERIOR SHALL BE PRESSURE TREATED.
- PROVIDE WOOD BLOCKING SUPPORT FOR GRAB BARS, TOILET AND ACCESSORIES, AS REQUIRED BY EACH MANUFACTURER.
- ALL DOOR AND WINDOW OPENINGS TO BE COUNTER FLASHED W/ METHODOLOGY TO BE REVIEWED AND APPROVED BY ARCHITECT.
- CAULK WITH SEALANT AT ALL JOINTS AT DISSIMILAR MATERIALS. CAULK PANEL ENDS OF SIMILAR MATERIALS WHEN EXPOSED TO AIR INFILTRATION.
- METAL FLASHING SHALL BE PROVIDED AT ALL VERTICAL MATERIAL TRANSITIONS W/ METHODOLOGY TO BE REVIEWED AND APPROVED BY ARCHITECT.
- ALL FLOOR FINISH CHANGES TO OCCUR AT CENTERLINE OF DOORS IN A CLOSED POSITION (U.N.O.).
- INSTALL ALL PRODUCTS ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS.



## PROJECT DIRECTORY

CLIENT REPRESENTATIVE: TODD LINDAHL, ORGANIZER 1101 COLLIER ROAD NW, UNIT P1 ATLANTA, GA 30318 P: 678.262.7153	ARCHITECT: JOHN MOORES, AIA ELAN VITAL DESIGN GROUP,LLC 400 VILLAGE PARKWAY, UNIT 106 ATLANTA, GA 30306 P: 770.316.9739	MEP ENGINEER: SCOTT LINDELOW, PE 5064 ROSWELL ROAD, STE D-301 SANDY SPRINGS, GA 30342 P: 770.319.7400	STRUCTURAL ENGINEER: BRIAN RIVERS, PE RESTRUCT ENGINEERING, LLC 5635 LENOX PARK PLACE SUGAR HILL, GA 30518 T: 770.480.7452
CIVIL ENGINEER: - - - - P: -	-: - - - P: -		

## PROJECT OVERVIEW

PROJECT DESCRIPTION: INTERIOR RENOVATION OF EXISTING STRUCTURE. CHANGE IN USE FROM EVENT SPACE TO RESTAURANT. EXTERIOR WORK LIMITED TO ADDITION OF GREASE TRAP, SEWER LINE AND RESTRIPING PARKING.	PROJECT ADDRESS: 4391 FLOYD ROAD MABLETON, GA 30126 LOCATED IN LAND LOTS 1000 AND 1001, 19TH DISTRICT, 2ND SECTION COBB COUNTY, GEORGIA
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## APPLICABLE CODES

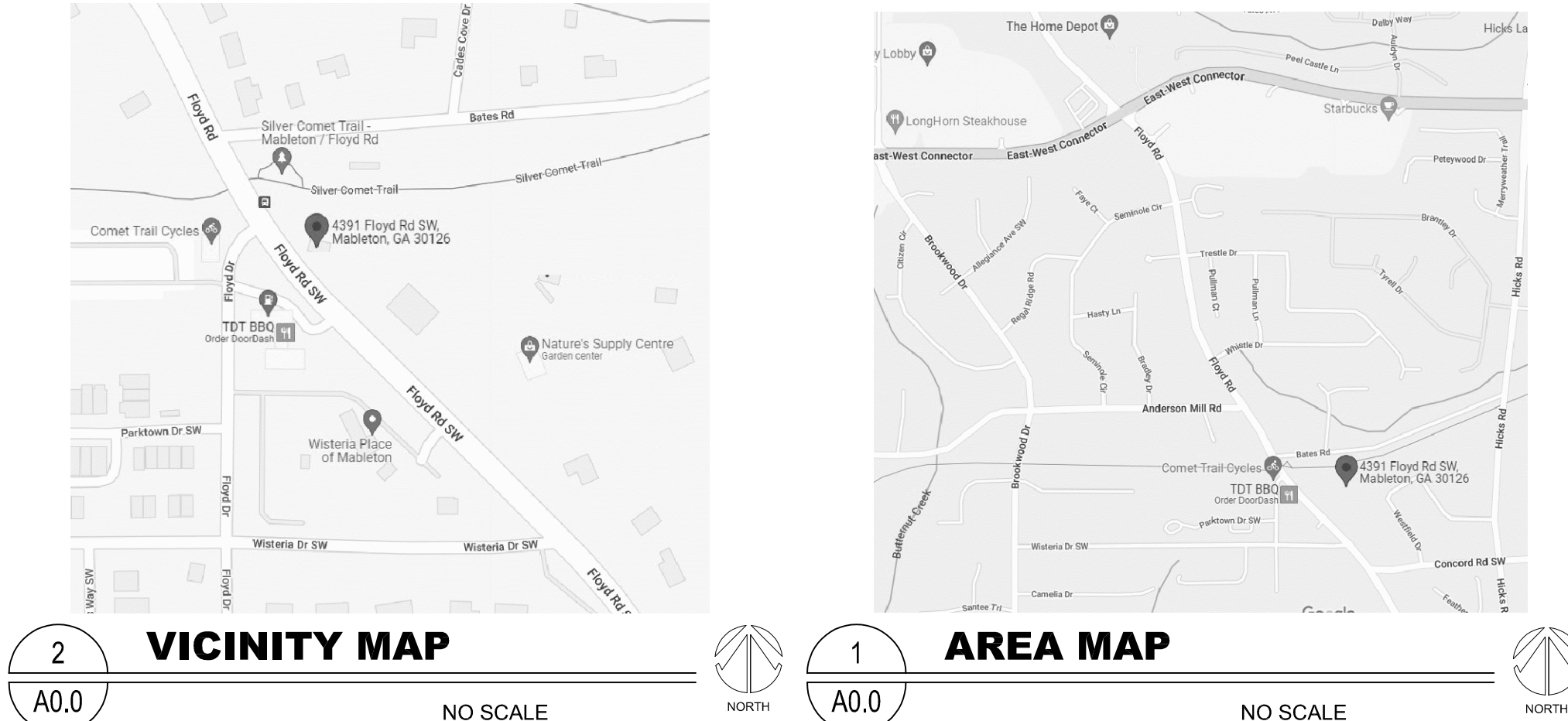
- THIS PROJECT SHALL COMPLY WITH THE MOST RECENT CODES FOR COBB COUNTY INCLUDING ALL AMENDMENTS AND RELATED APPENDICES. THE FOLLOWING CODES APPLY:
- INTERNATIONAL BUILDING CODE, 2018 EDITION with GA AMENDMENTS (2020)
  - INTERNATIONAL FIRE CODE, 2018 EDITION with GA AMENDMENTS (2020)
  - INTERNATIONAL PLUMBING CODE 2018 EDITION, with GA AMENDMENTS (2020)
  - INTERNATIONAL MECHANICAL CODE, 2018 EDITION with GA AMENDMENTS (2020)
  - INTERNATIONAL FUEL GAS CODE, 2018 EDITION with GA AMENDMENTS (2020)
  - NATIONAL ELECTRIC CODE, 2020 EDITION with no GA AMENDMENTS
  - LIFE SAFETY CODE NFPA 101, 2018 EDITION with STATE AMENDMENTS
  - INTERNATIONAL ENERGY CONSERVATION CODE, 2015 EDITION WITH GEORGIA SUPPLEMENTS AND AMENDMENTS
  - GEORGIA STATE HANDICAPPED ACCESSIBILITY LAW 120-3-20A/2010 ADA STANDARDS ACCESSIBLE DESIGN
  - NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 101 LIFE SAFETY CODE, WITH GEORGIA AMENDMENTS FIRRE SAFETY: RULES AND REGULATIONS OF SAFETY FIRE COMMISSIONER FOR STATE MINIMUM FIRE SAFETY STANDARDS, CHAPTER 120-3-3 JANUARY 1, 2020.

## SYMBOLS

	CEILING HEIGHT/ CEILING TYPE NOTATION
	COLUMN CENTERLINE NOTATION
	DETAIL REFERENCE
	DOOR NUMBER NOTATION
	DOOR NUMBER NOTATION
	ELEVATION/SECTION REFERENCE
	ELEVATION NOTATION
	EQUIPMENT NOTATION
	GLASS TYPE NOTATION
	MATERIAL NOTATION
	CHANGE IN FINISH
	EXTENT OF FINISH
	PARTITION TYPE NOTATION
	INTERIOR ELEVATION REFERENCE
	REVISION NUMBER NOTATION
	ROOM NAME AND NUMBER
	WINDOW TYPE NOTATION
	CHANGE IN ELEVATION

## ABBREVIATIONS

A.F.F.	= ABOVE FINISHED FLOOR	N.T.S.	= NOT TO SCALE
B.O.	= BOTTOM OF	O.C.	= ON CENTER
C.H.	= CEILING HEIGHT	O.H.	= OPPOSITE HAND
C.J.	= CONTROL JOINT	O.S.B.	= ORIENTED STRAND BOARD
C	= CENTER LINE	OHD.	= OVERHEAD DOOR
C.M.U.	= CONCRETE MASONRY UNIT	PL	= PROPERTY LINE
COL.	= COLUMN	PL	= PLATE
CONC.	= CONCRETE	PLWD	= PLYWOOD
CONT.	= CONTINUOUS	P.T.	= PRESSURE TREATED
CTR	= CENTER	PT.	= PAINT
D.F.	= DRINKING FOUNTAIN	R.	= RADIUS
DIA. / q	= DIAMETER	R.C.P.	= REFLECTED CEILING PLAN
D.S.	= DOWNSPOUT	REINF.	= REINFORCE / REINFORCED
EA.	= EACH	R.O.	= ROUGH OPENING
E.I.F.S.	= EXTERIOR INSULATION FINISH SYSTEM	R/S	= ROD & SHELF
E.J.	= EXPANSION JOINT	S.A.T.C.	= SUSPENDED ACOUSTICAL TILE CEILING
EL.	= ELEVATION	SCH./SCHED.	= SCHEDULE
E.O.S.	= EDGE OF SLAB	S.F.	= SQUARE FEET / FOOTAGE
EQ.	= EQUAL	SH.	= SHELF / SHELVES
F.D.	= FLOOR DRAIN	SIM.	= SIMILAR
F.E.	= FIRE EXTINGUISHER	SL.	= SLOPE
F.E.C.	= FIRE EXTINGUISHER CABINET	STD.	= STANDARD
FIN.	= FINISH OR FINISHED	STL.	= STEEL
FL.	= FLOOR	STRUCT.	= STRUCTURE / STRUCTURAL
F.O.S.	= FACE OF STRUCTURE	T.O.	= TOP OF
F.R.	= FIRE RATED / RETARDANT	T.O.S.	= TOP OF SLAB / STEEL
GA.	= GAUGE	TYP.	= TYPICAL
G.C.	= GENERAL CONTRACTOR	U.N.O.	= UNLESS NOTED OTHERWISE
G.W.B.	= GYPSUM WALLBOARD	UL	= UNDERWRITERS' LABORATORIES
H.C.	= HANDICAP	V.I.F.	= VERIFY IN FIELD
HT.	= HEIGHT	W/	= WITH
MFR.	= MANUFACTURER	WD	= WOOD
M.O.	= MASONRY OPENING	W.H.	= WATER HEATER
MET.	= METAL	WWF	= WELDED WIRE FABRIC
N.I.C.	= NOT IN CONTRACT		



elan vital design group,llc.

400 Village Parkway  
Unit 106  
Atlanta, GA 30306  
phone: 770.316.9739

Revisions		
No.	Date	Type
-	06/05/22	CLIENT REVIEW
-	06/19/22	CLIENT REVIEW

4391 FLOYD ROAD  
MABLETON, GEORGIA 30126

DRAWN BY:	JCM
CHECKED BY:	-
PROJECT NO.	22012
SCALE:	
DATE	May 6, 2022

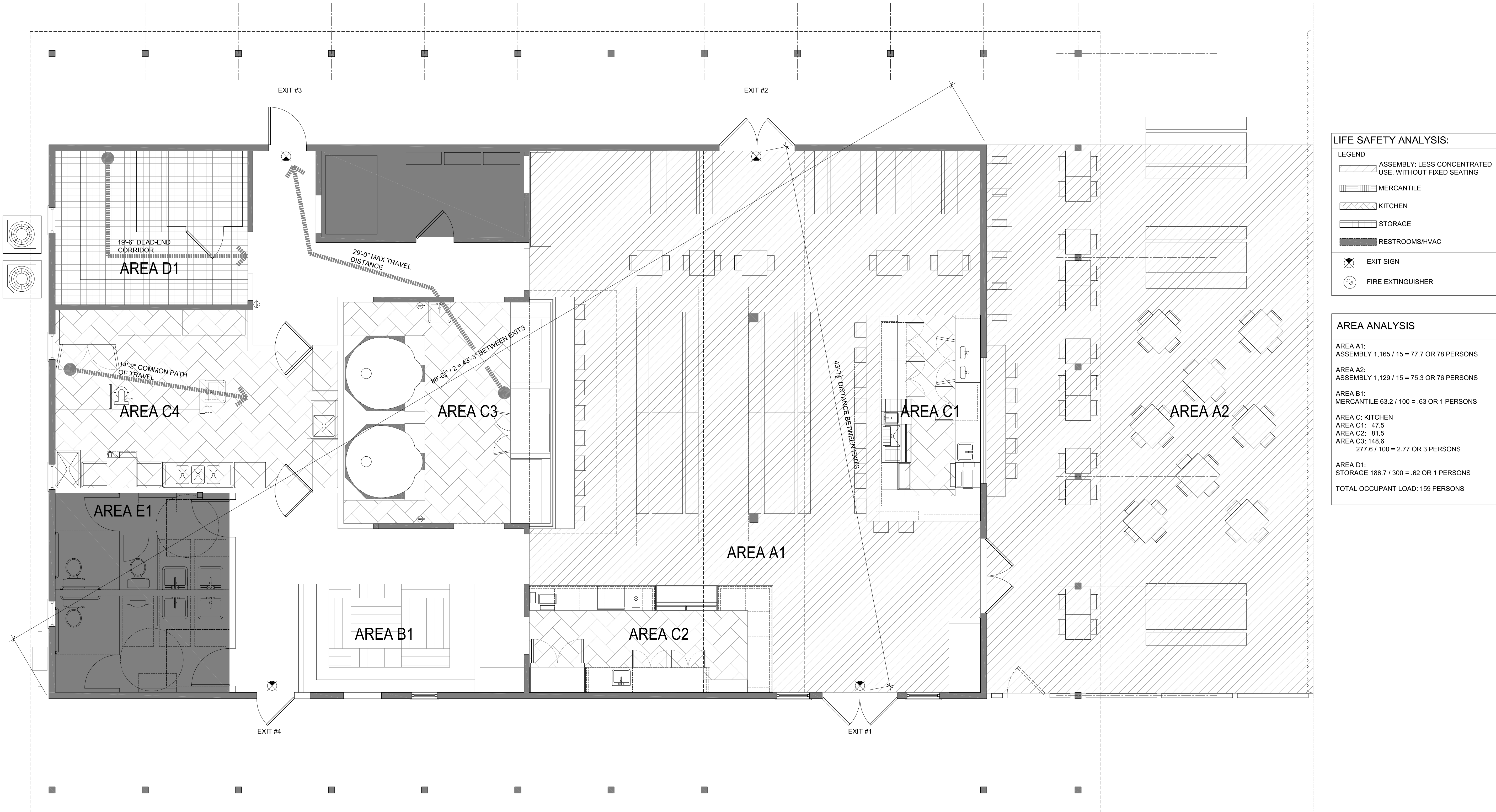
LAST REV.  
PROJECT  
INFORMATION

A0.0

PRELIMINARY - NOT  
FOR CONSTRUCTION



LEGEND	INTERIOR FINISHES	PLUMBING FIXTURE COUNT	LIFE SAFETY ANALYSIS:	CODE SUMMARY
<div><div>----- 1 HOUR RATED WALL</div><div>----- 2 HOUR RATED WALL</div><div>----- 3 HOUR RATED WALL</div><div>----- SMOKE PARTITION</div><div><div>EXISTING MASONRY TO REMAIN</div></div><div><div>EXISTING WALL TO REMAIN</div></div><div>----- EXISTING WALL TO BE REMOVED</div><div><div>AREA NOT IN SCOPE</div></div></div>	<div>ALL INTERIOR FINISHES TO BE CLASS C WITHIN CORRIDORS AND ENCLOSURE FOR ACCESS ACCESS</div> <div>ALL INTERIOR FINISHES TO BE CLASS C WITHIN ROOM AND ENCLOSED SPACES</div>	<div>CHAPTER 29: PLUMBING</div> <div>BASED UPON 159 PERSONS</div> <div><div>1 WATER CLOSET PER 75 PERSONS</div><div>3 REQUIRED</div><div>4 PROVIDED</div><div>1 LAVATORY PER 200 PERSONS</div><div>1 REQUIRED</div><div>4 PROVIDED</div><div>DRINKING FOUNTAIN EXEMPTION - FULL-SERVICE RESTAURANT</div></div>	<div>TOTAL OCCUPANT LOAD = 159 PERSONS</div> <div>NUMBER OF EXITS REQUIRED: 2 EXITS</div> <div>NUMBER OF EXITS PROVIDED: 4 EXITS</div> <div>DISTANCE BETWEEN EXITS:<div>REQUIRED: 43'-3"</div><div>PROVIDED: 43'-7"</div></div> <div>WIDTH OF EGRESS: (x .2) 159 x .2 =<div>REQUIRED: 31.8"</div><div>PROVIDED: 200"</div></div> <div>MAXIMUM TRAVEL DISTANCE:<div>MAXIMUM: 200'-0"</div><div>PROVIDED: 29'-0"</div></div> <div>COMMON PATH OF EGRESS:<div>MAXIMUM: 75'-0"</div><div>PROVIDED: 14'-2"</div></div> <div>DEAD-END CORRIDORS:<div>ALLOWABLE: 20'-0" MAX</div><div>PROVIDED: 19'-6"</div></div>	<div>TYPE OF CONSTRUCTION: TYPE VB, NONSPRINKLERED</div> <div>BUILDING HEIGHT: 25' (EXISTING), 40' MAX ALLOWABLE</div> <div>NUMBER OF STORIES: 1-STORY (EXISTING), 1-STORY ALLOWED</div> <div>ZONING: NRC w/ SPECIAL STIPULATIONS</div> <div>OCCUPANCY CLASSIFICATION GROUP A-2 : RESTAURANT</div> <div>RATINGS REQUIRED FOR TYPE VB, NONSPRINKLERED (EXISTING)<div>STRUCTURAL FRAME0 HR INCL. COLUMNS, GIRDERS, TRUSSES</div><div>BEARING WALLS0 HR EXTERIOR AND INTERIOR</div><div>NONBEARING WALLS AND PARTITIONS0 HR AT EXTERIOR WALLS</div><div>FLOOR CONSTRUCTION0 HR INCL. ASSOCIATED SECONDARY MEMBERS</div><div>ROOF CONSTRUCTION0 HR INCL. ASSOCIATED SECONDARY MEMBERS</div></div> <div>EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE<div>10'-X&lt;30 = 1 HOUR</div><div>X &gt; 30 = 0 HOURS REQUIRED</div></div> <div>CONSTRUCTION TYPE LIMITATION</div> <div>TYPE V 1-STORY ALLOWED TO 300 PERSONS</div> <div>IBC SECTION 504</div> <div>IBC SECTION 504</div> <div>IBC SECTION 309</div> <div>IBC TABLE 602</div> <div>NFPA TABLE 12.1.6</div>





Revisions		
No.	Date	Type
-	06/05/22	CLIENT REVIEW
-	06/19/22	CLIENT REVIEW

GENERAL DEMOLITION NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION OF ALL PORTIONS OF THE EXISTING CONDITIONS NECESSARY TO CONSTRUCT AND COORDINATE WITH THE NEW WORK SHOWN ON THE DRAWINGS. IF UNCERTAIN WHETHER AN EXISTING ELEMENT IS TO BE REMOVED, CONTACT ARCHITECT BEFORE PROCEEDING.
2. THE IDENTIFICATION AND/OR ABATEMENT OF HAZARDOUS MATERIALS IS NOT PART OF THIS SCOPE OF WORK. IF ASBESTOS OR OTHER HAZARDOUS MATERIALS ARE ENCOUNTERED BY THE CONTRACTOR THROUGH THE COURSE OF THE DEMOLITION AND/OR CONSTRUCTION WORK, THE CONTRACTOR SHALL INFORM THE OWNER IMMEDIATELY PRIOR TO PROCEEDING WITH CONSTRUCTION.
3. BASED ON THE CONTRACTOR'S "MEANS AND METHODS" FOR CONSTRUCTION, CONTRACTOR SHALL DETERMINE INTERMEDIATE STAGING AND SEQUENCING OF THE DEMOLITION, TEMPORARY WORK AND NEW WORK TO INSURE CONTINUOUS OCCUPATION OF EXISTING FACILITY.
4. THE OWNER SHALL CONTINUOUSLY OCCUPY EXISTING AREAS, FOR THEIR INTENDED PURPOSE, ADJACENT TO THE PROJECT LIMIT DURING THE LIFETIME OF THE PROJECT. REFER TO SPECIFICATIONS FOR SPECIAL PROJECT REQUIREMENTS FOR THE FOLLOWING:
  - a. MAINTAINING EXISTING SYSTEMS DURING CONSTRUCTION (INCLUDING APPROVALS FROM AUTHORITIES HAVING JURISDICTION)
    - LIFE SAFETY (FIRE ALARM, FIRE SUPPRESSION, EMERGENCY POWER)
    - MECHANICAL, ELECTRICAL, PLUMBING AND CONTROLS
  - b. MAINTAINING EGRESS PATHWAYS (INCLUDING APPROVALS FROM AUTHORITIES HAVING JURISDICTION)
  - c. SPECIAL INSTRUCTIONS AND REQUIREMENTS FOR UTILITY AND SERVICES INTERRUPTION.
  - d. RESTRICTIONS AND REQUIREMENTS FOR WORK IN OWNER OCCUPIED AREAS.
  - e. DUST PROOF, TEMPORARY FINISHED PARTITIONS TO PROTECT OCCUPIED AREAS.
5. CONTRACTOR TO COORDINATE THE PROPOSED ARCHITECTURAL WORK WITH EXISTING STRUCTURAL AND MEP EQUIPMENT FOR ALL DEMOLITION WORK INCLUDING OPENINGS AND PENETRATIONS FOR REQUIRED SCOPE OF WORK AND APPLICABLE LIMIT OF WORK DIMENSIONS PRIOR TO PROCEEDING WITH DEMOLITION WORK.
6. CONTRACTOR TO NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES BETWEEN DEMOLITION DRAWINGS AND EXISTING CONDITIONS FOUND BEFORE OR DURING DEMOLITION WORK.
7. CONTRACTOR TO INFORM ARCHITECT AND CONSULTANTS RELATED TO THE DISCOVERY IF THERE ARE UNFORESEEN STRUCTURAL MEMBERS, MISCELLANEOUS OBJECTS OR UNIDENTIFIED UTILITY LINES FOUND DURING DEMOLITION WORK.
8. SEE DEMOLITION DRAWINGS FOR REMOVAL AND / OR TEMPORARY SUPPORT OF AFFECTED ELECTRICAL DEVICES, EXISTING LIGHTING ETC. COORDINATE DEMOLITION WORK WITH THE INSTALLATION OF NEW ELECTRICAL WORK.
9. ANY AND ALL DAMAGE TO EXISTING COMPONENTS OF THE BUILDING AND / OR FINISHES THAT ARE TO REMAIN SHALL BE REPAIRED TO MATCH ADJACENT EXISTING CONSTRUCTION.
10. CUT AND PATH EXISTING GYPSUM WALLBOARD ASSEMBLIES AS REQUIRED FOR THE FOLLOWING:
  - a. NEW PLUMBING PIPING AND FIXTURES
  - b. MECHANICAL EQUIPMENT AND GRILLS
  - c. ELECTRICAL OUTLETS, SWITCHES, DEVICES, AND WIRING
  - d. LIGHTING FIXTURES AND WIRING
  - e. OTHER ASSEMBLIES AS INDICATED BY THE CONTRACT DOCUMENTS
  - f. WOOD BLOCKING

DEMOLITION NOTES:

D01. REMOVE EXISING WALLS  
D02. REMOVE EXISTING DOORS  
D03. REMOVE EXISTING GLAZING  
D04. REMOVE EXISTING PLUMBING FIXTURES  
D05. REMOVE EXISTING EQUIPMENT  
D06. REMOVE EXISTING ELECTRICAL PANEL AND WIRING  
D07. REMOVE EXISTING FLOOR STRUCTURE  
D08. REMOVE EXISTING STAIRS  
D09. REMOVE EXISTING BAR  
D10. REMOVE EXISTING CABINETRY/SHELVING

WALL LEGEND

- EXISTING MASONRY TO REMAIN  
EXISTING WALL TO REMAIN  
EXISTING WALL TO BE REMOVED



01 DEMOLITION PLAN

A2.0  
1/4" = 1'-0"

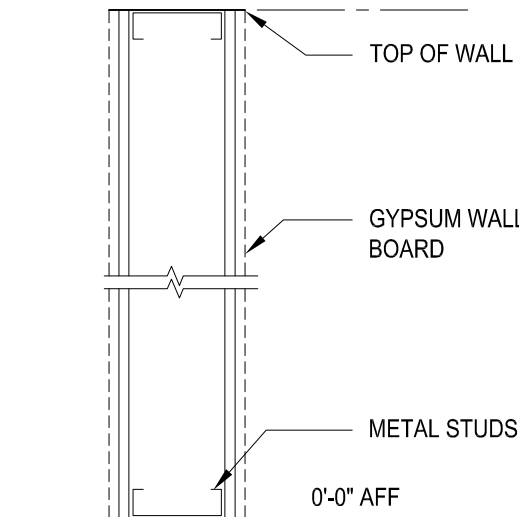
4391 FLOYD ROAD  
MABLETON, GEORGIA 30126

DRAWN BY:	JCM
CHECKED BY:	-
PROJECT NO.	22012
SCALE:	
DATE	May 6, 2022
LAST REV.	

DEMOLITION  
FLOOR PLAN

A2.0

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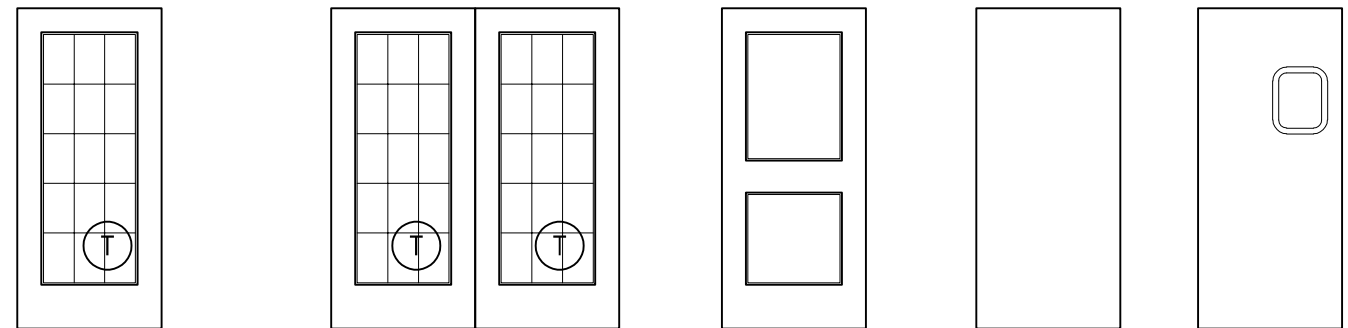
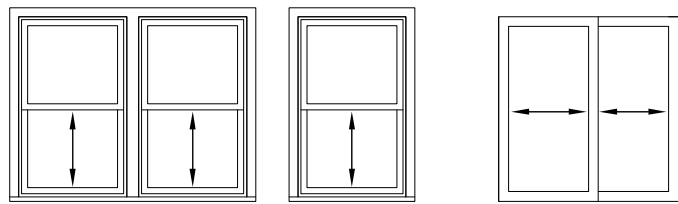
PARTITION TYPE

TYPE	STUD	GYP	LAYERS	RATING
A	3/8"	5"	ONE EACH SIDE	0 HR
B	3/8"	5" TYPE X	ONE EACH SIDE	1 HR
C	3/8"	5" TYPE X	TWO EACH SIDE	2 HR

- NOTES:
- WALLS TO BE CONSTRUCTED OF 3/8" 16 GA STUDS @ 16" O.C.
  - WALLS TO BE BRACED BY PERPENDICULAR WALLS AT EACH END OR SECURED TO CEILING

WINDOW SCHEDULE									
WINDOW NO.	NOMINAL SIZE		WINDOW			FRAME		RATING	GLAZING
	WIDTH	HEIGHT	STYLE	MATERIAL	FINISH	MATERIAL	FINISH		
A	3'-0"	3'-2"	3	ALUM	PAINT	ALUM	PAINT	-	-
B	5'-6"	3'-2"	3	ALUM	PAINT	ALUM	PAINT	-	-
-	-	-	-	-	-	-	-	-	-

- NOTES:
- WINDOWS TO BE WOOD, METAL CLAD OR SIM WINDOWS, LOW E, ARGON-FILLED, DOUBLE PANED
  - GLASS IN DOORS AND SIDELIGHTS TO BE TEMPERED.
  - PROVIDE INSECT SCREEN AT OPERABLE WINDOWS.
  - REFER TO ELEVATIONS FOR GRID PATTERNS.
  - ALL NEW EXTERIOR WINDOWS TO BE INSULATED, TYP.



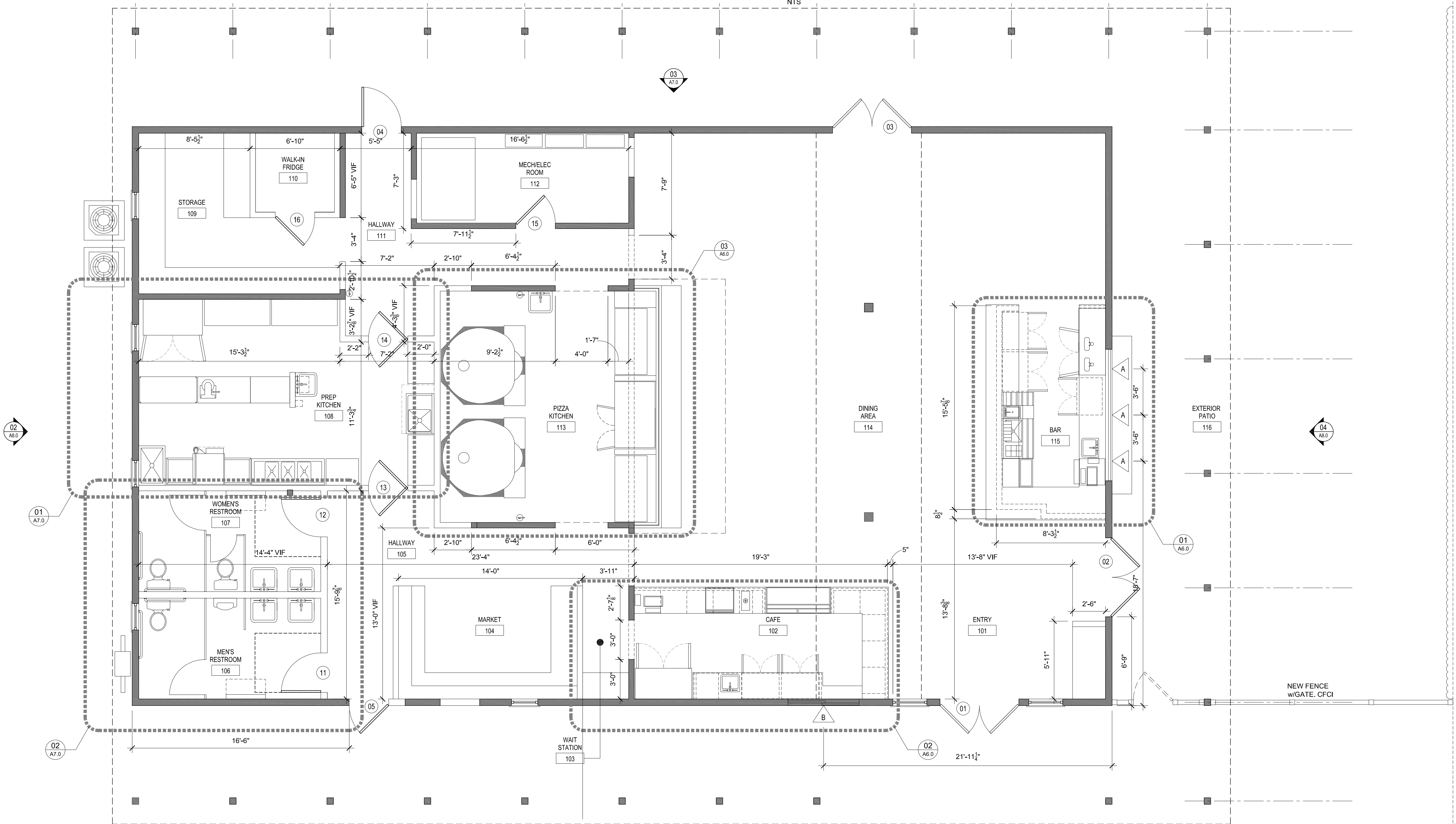
DOOR ELEVATIONS

DOOR SCHEDULE														
DOOR NO.	SIZE		DOOR				HARDWARE				FRAME		RATING	GLAZING
	WIDTH	HEIGHT	THICK	TYPE	STYLE	MATERIAL	FINISH	ACTION	CLOSER	WSTRIP	STOP	MATERIAL	FINISH	
01	6'-0"	X 6'-8"	1 1/2"	SOLID / GLASS	B	WD.	PT	LOCK SET	X	X	-	WD	PT.	-
02	6'-0"	X 6'-8"	1 1/2"	SOLID / GLASS	B	WD.	PT	LOCK SET	X	X	-	WD	PT.	-
03	6'-0"	X 6'-8"	1 1/2"	SOLID / GLASS	B	WD.	PT	LOCK SET	X	X	-	WD	PT.	-
04	3'-6"	X 6'-8"	1 1/2"	SOLID	D	WD.	PT	LOCK SET	X	X	-	WD	PT.	-
05	3'-0"	X 6'-8"	1 1/2"	SOLID / GLASS	A	WD.	PT	LOCK SET	X	X	-	WD	PT.	-
11	3'-0"	X 6'-8"	1 1/2"	SOLID	C	WD.	PT	PUSH / PULL	-	-	-	WD	PT.	-
12	3'-0"	X 6'-8"	1 1/2"	SOLID	C	WD.	PT	PUSH / PULL	-	-	-	WD	PT.	-
13	3'-0"	X 6'-8"	1 1/2"	SOLID / GLASS	E	ALUM.	PT	PUSH / PULL	-	-	-	ALUM	PT.	-
14	3'-0"	X 6'-8"	1 1/2"	SOLID / GLASS	E	ALUM.	PT	PUSH / PULL	-	-	-	ALUM	PT.	-
15	3'-0"	X 6'-8"	1 1/2"	SOLID	C	WD.	PT	LOCK SET	-	-	-	WD	PT.	-
16	3'-0"	X 6'-8"	1 1/2"	SOLID	D	-	-	-	-	-	-	-	-	-

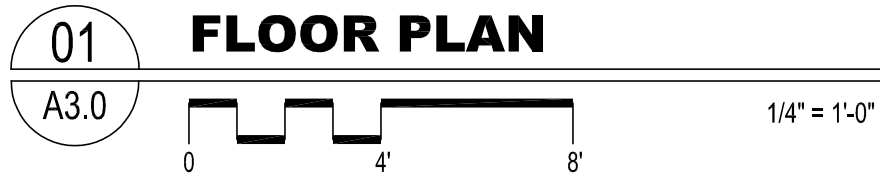
DOOR SCHEDULE ABBREVIATIONS:

ACTION	HINGE	CLOSER	WSTRIP	STOP	MATERIALS
LK LOCKSET PAS PASSAGE SET P/P PUSH/PULL BP BI-PARTING PRI PRIVACY TL TOUCH LATCH DB DEADBOLT	F FLAT P/V PIVOTAL BB BALL BEARING OH OVERHEAD FB FLUSH BOLT	C1 SURFACE MOUNTED, INTERIOR	THR WEATHER STRIPPING	F FLOOR STOP W WALL STOP O OVERHEAD	HM HOLLOW METAL SCW SOLID CORE WOOD HCW HOLLOW CORE WOOD OH OVERHEAD WD WOOD GA GLASS/ALUMINUM STOREFRONT FBC FIBERGLASS

NOTE: ALL EXTERIOR DOORS TO BE INSULATED, TYP.  
T = TEMPERED



FLOOR PLAN



evdg

elan vital design group, llc.

400 Village Parkway  
Unit 106  
Atlanta, GA 30306  
phone: 770.316.9739

Revisions

No.	Date	Type
-	06/05/22	CLIENT REVIEW
-	06/19/22	CLIENT REVIEW

4391 FLOYD ROAD  
MABLETON, GEORGIA 30126

DRAWN BY:	JCM
CHECKED BY:	-
PROJECT NO.	22012
SCALE:	
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LAST REV.	

PROPOSED  
FLOOR PLAN

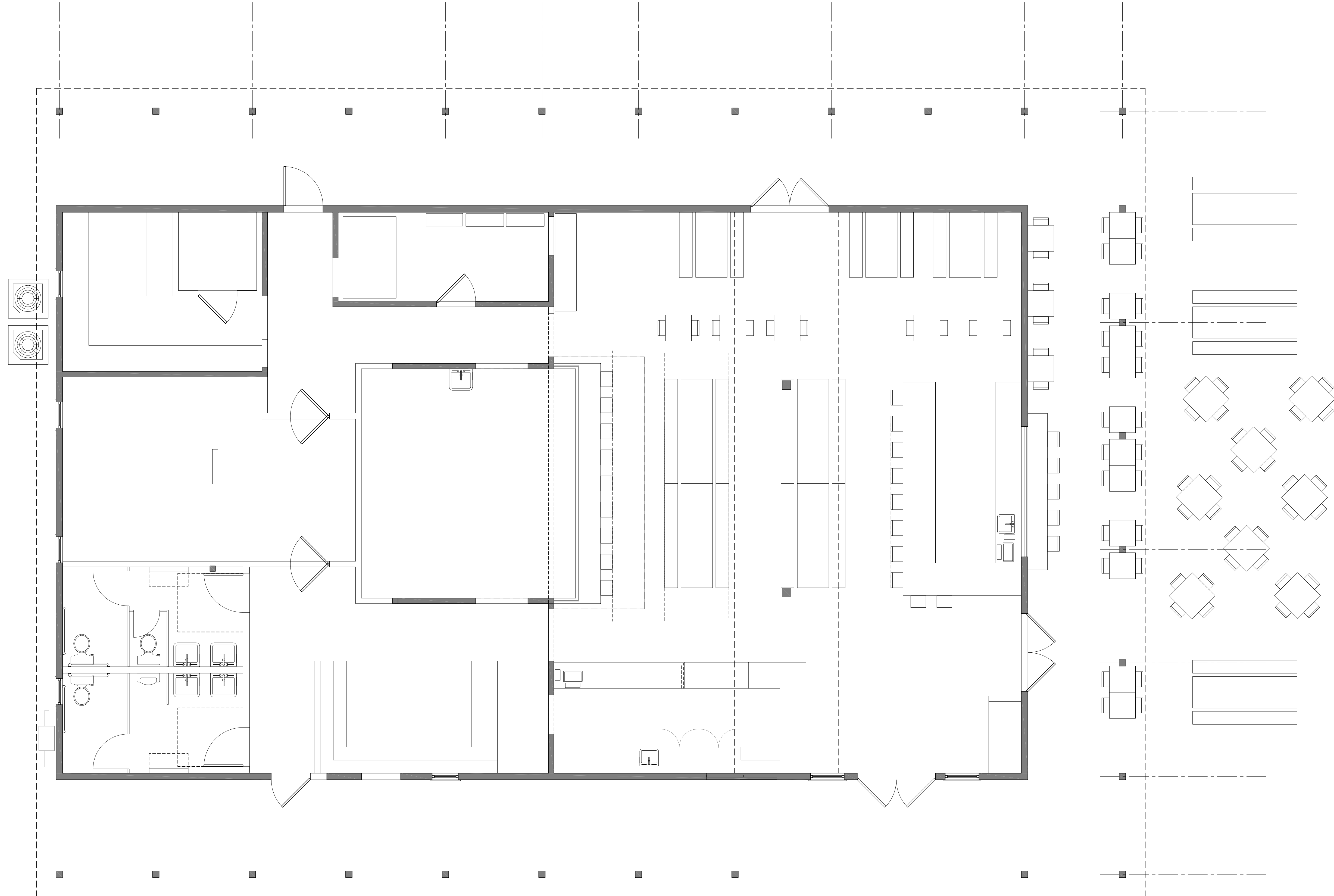
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[illegible]

CEILING ELEMENT SCHEDULE					
TAG	TYPE	MANUFACTURER	SPECIFICATION	REMARKS	QUANTITY
01	ACOUSTICAL CEILING CLOUD	ARMSTRONG	TECTUM ROUND SHAPE	.	35



## 01 FLOOR PLAN



evdg

elan vital design group, llc.

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## Revisions

No.	Date	Type
-	06/05/22	CLIENT REVIEW
-	06/19/22	CLIENT REVIEW

4391 FLOYD ROAD  
MABLETON, GEORGIA 30126

DRAWN BY: JCM

CHECKED BY: \_\_\_\_\_

PROJECT NO. 2201

SCALE: \_\_\_\_\_

DATE May

REFLECTED  
CEILING PLAN

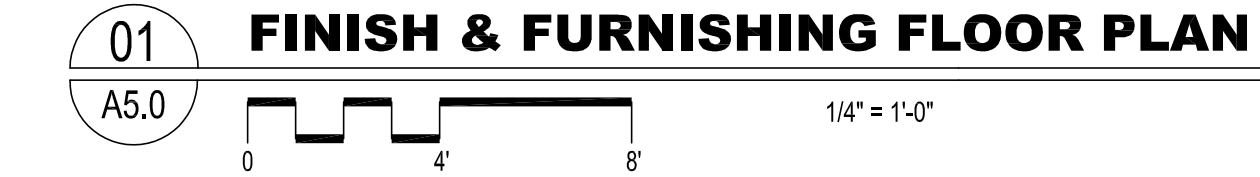
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1. ALL FINISHES AND MATERIALS ARE INDICATED WITHIN FINISH PLANS, CEILING PLANS, ELEVATIONS, FINISH LEGEND AND IN FINISH SPECIFICATIONS. NO SUBSTITUTIONS OF FINISHES, MATERIALS, PRODUCTS OR SYSTEMS WILL BE ACCEPTED WITHOUT PRIOR APPROVAL OF THE ARCHITECT OR INTERIOR DESIGNER.
2. ELEMENTS OF BUILDING SYSTEMS ARE SHOWN ON THE ARCHITECTURAL DRAWINGS TO DENOTE LOCATION AND LAYOUT PATTERN WHERE PLACEMENT IS CRITICAL TO APPEARANCE. THEY MAY NOT REPRESENT THE COMPLETE SYSTEMS THAT COMPLY WITH STANDARDS OR REQUIREMENTS.
3. INTERIOR DRAWINGS INDICATE LOCATION OF LIGHTING IN APPLIED FINISH MATERIAL. REFER TO ELECTRICAL DRAWINGS FOR WIRING LAYOUT AND ADDITIONAL INFORMATION AND DETAILS. IN THE EVENT OF DISCREPANCIES BETWEEN THESE DRAWINGS, IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING BEFORE ORDERING MATERIALS OR PROCEEDING WITH WORK.
4. CENTER ALL DEVICES IN THE CENTER OF CEILING TILES OR CEILING OR WALL PANELS UNLESS OTHERWISE INDICATED.
5. DEVICES LOCATION IN DROPPED SOFFITS/CASED OPENINGS ARE TO BE CENTERED IN THE SOFFIT/OPENING UNLESS NOTED OTHERWISE.
6. CEILING DEVICES SHALL NOT BE MOUNTED CLOSER THAN 12" FROM FINISHED VERTICAL WALL.
7. DEVICES TO ALIGN ARE INDICATED BY CENTERLINE.
8. DIMENSIONS GIVEN ARE TO THE CENTER OF VISIBLE PORTION OF DEVICES UNLESS NOTED OTHERWISE.
9. DEVICES LOCATED ABOVE ENTRY DOORS ARE TO BE CENTERED WITH REGARD TO THE DOORS.
10. ALL FINISH MATERIALS ARE TO BE CLASS A UNLESS NOTED OTHERWISE. FLAME SPREAD AND SMOKE DEVELOPMENT RATINGS FOR INTERIOR FINISHES ARE TO BE IN ACCORDANCE WITH APPLICABLE CODES.
11. EXTEND FINISHES INTO CEILING COVES UNLESS NOTED OTHERWISE.
12. ALL FASTENERS AND ATTACHMENTS IN PUBLIC AREAS SHALL BE FULLY CONCEALED FROM VIEW UNLESS NOTED OTHERWISE.
13. FINISHES INDICATED ON THE FINISH PLANS REPRESENT THE MAJOR WALL FINISHES. FOR ADDITIONAL FINISH INFORMATION PERTAINING TO THE WALLS SEE INTERIOR ELEVATIONS. COLUMNS FINISHED TO MATCH WALLS UNLESS NOTED OTHERWISE.
14. PAINT ALL INTERIOR AND EXTERIOR GRILLES, DIFFUSERS, LOUVERS, ACCESS PANELS, PIPES AND CONDUIT EXPOSED TO VIEW TO MATCH THE SURFACES IN WHICH THEY OCCUR, UNLESS NOTED OTHERWISE.
15. ALL EXPOSED GYPSUM BOARD SURFACES ARE TO RECEIVE PAINT UNLESS NOTED OTHERWISE. CONFIRM PAINT DESIGNATIONS WITH ARCHITECT WHERE NOT INDICATED ON DRAWINGS.
16. ALL PAINTED WALLS SHALL HAVE AN EVENT DEPTH OF COLOR AND REFLECTANCE. IF A PORTION OF A WALL IS REPAINTED AND AN EVEN FINISH IS NOT ACHIEVED, THE ENTIRE WALL SHALL BE REPAINTED.
17. PROVIDE CAULK JOINTS OF MATCHING COLOR AT ALL LOCATIONS BETWEEN ADJOINING FINISH MATERIALS.
18. PROVIDE TRANSITION STRIPS AT ALL FLOORING MATERIAL CHANGES PER SILL AND FLOOR TRANSITION DETAILS.
19. FLOOR FINISH TRANSITIONS OCCUR AT CENTER OF DOOR IN CLOSED POSITION UNLESS NOTED OTHERWISE.
20. ART IS PROPOSED IN AREAS IDENTIFIED WITH DASHED LINES ON THE INTERIOR ELEVATIONS. CONTRACTOR IS TO COORDINATE WITH ALL TRADES TO ENSURE THAT THESE AREAS ARE CLEAR OF OTHER DEVICES. CONTRACTOR TO PROVIDE ADEQUATE BLOCKING TO SUPPORT ART.

FINISH SCHEDULE							
TAG	AREA	WALLS	FLOORS	CEILINGS	ACCESSORY	BASE	NOTES
101	ENTRY	GWBP/PT1	CS-1	GWBP/PT-	-	WB-1	-
102	CAFE	GWBP/PT1	CS-1	GWBP/PT-	WD	WB-1	-
103	WAIT STATION	GWBP/PT1	CS-1	GWBP/PT-	-	WB-2	-
104	MARKET	GWBP/PT1	CS-1	GWBP/PT-	-	WB-2	-
105	HALLWAY	GWBP/PT1	CS-1	GWBP/PT-	-	WB-2	-
106	MEN'S RESTROOM	CT1 MRGWB/PT1	CS-1	GWBP/PT-	-	TILE	-
107	WOMEN'S RESTROOM	CT1 MRGWB/PT1	CS-1	GWBP/PT-	-	TILE	-
108	PREP KITCHEN	FRP/PT1	CS-1	GWBP/PT-	-	FRP	-
109	STORAGE	GWBP/PT1	CS-1	OPEN	-	WB-2	-
110	WALK-IN FRIDGE	BY MANU	CS-1	BY MANU	-	-	-
111	HALLWAY	GWBP/PT1	CS-1	GWBP/PT2	-	WB-2	-
112	MECH / ELEC ROOM	GWBP/PT1	CS-1	OPEN	-	-	-
113	PIZZA KITCHEN	CT1 FRP/PT1	CS-1	GWBP/PT5	-	TILE	-
114	DINING AREA	GWBP/PT1	CS-1	GWBP/PT- EXISTING	-	WB-1	-
115	BAR	GWBP/PT1	CS-1	GWBP/PT- EXISTING	WD	WB-1	-



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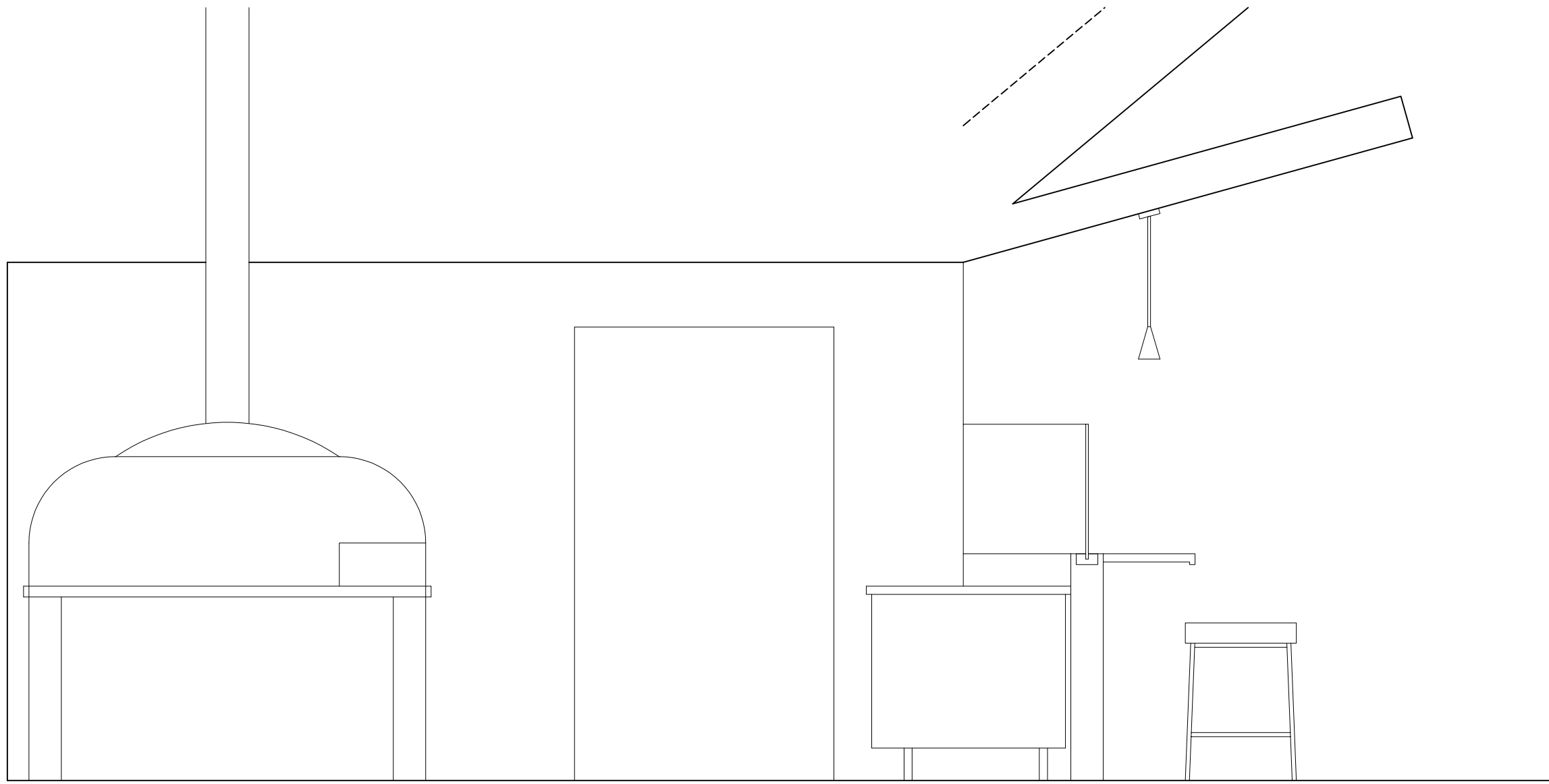
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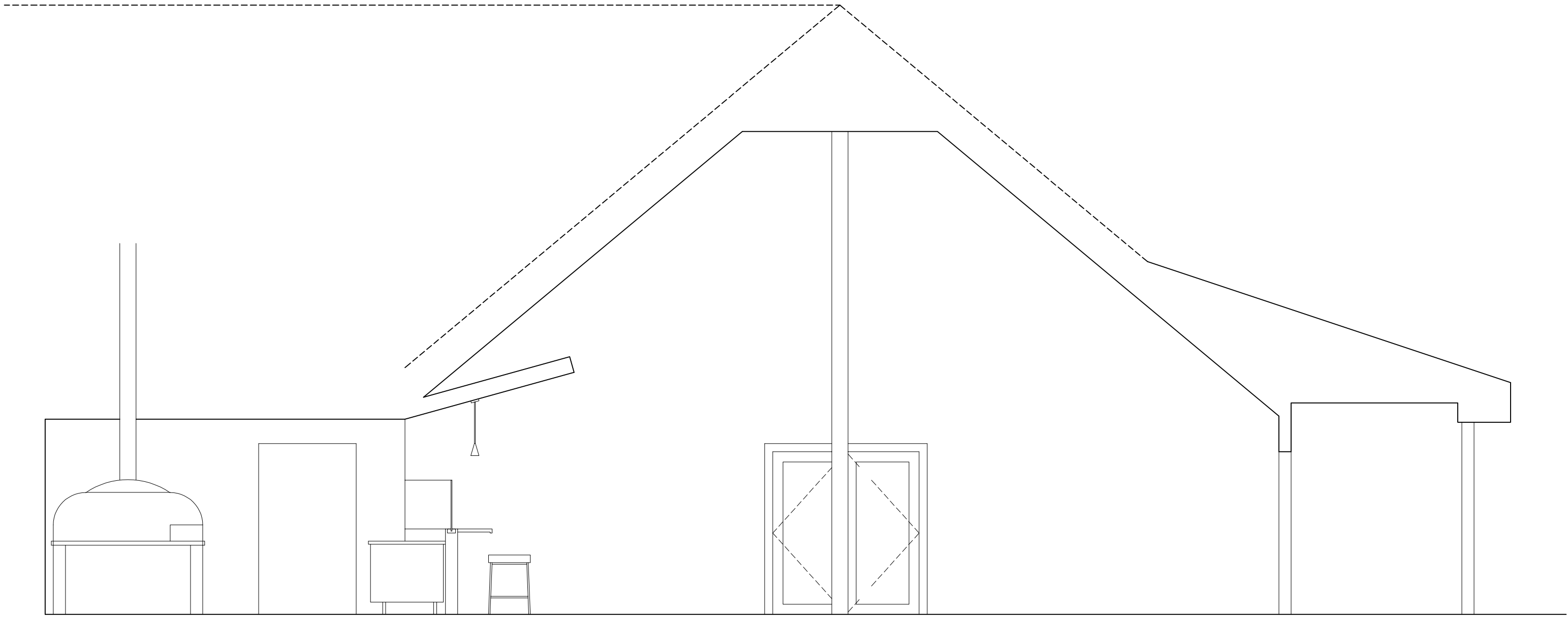
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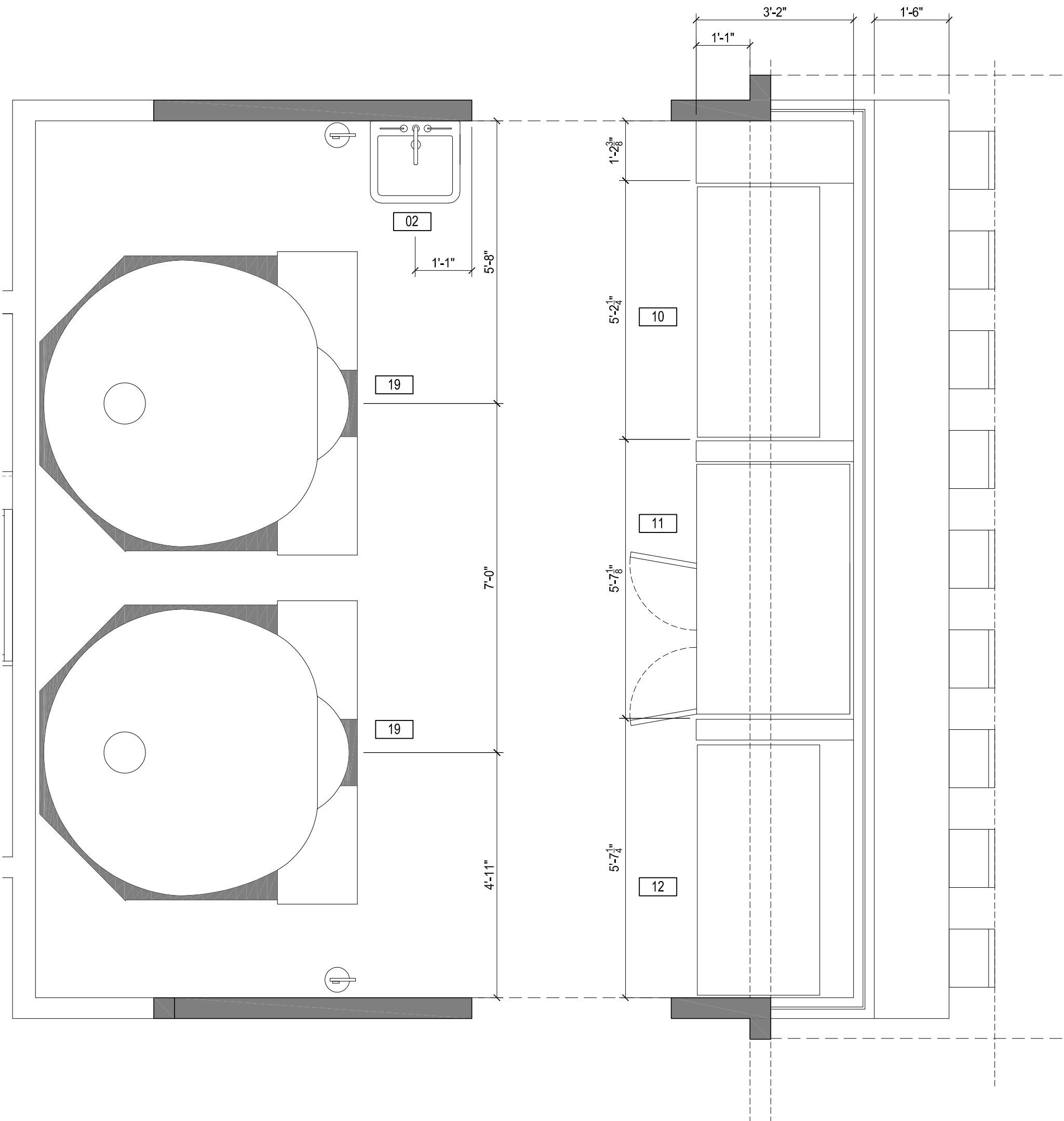
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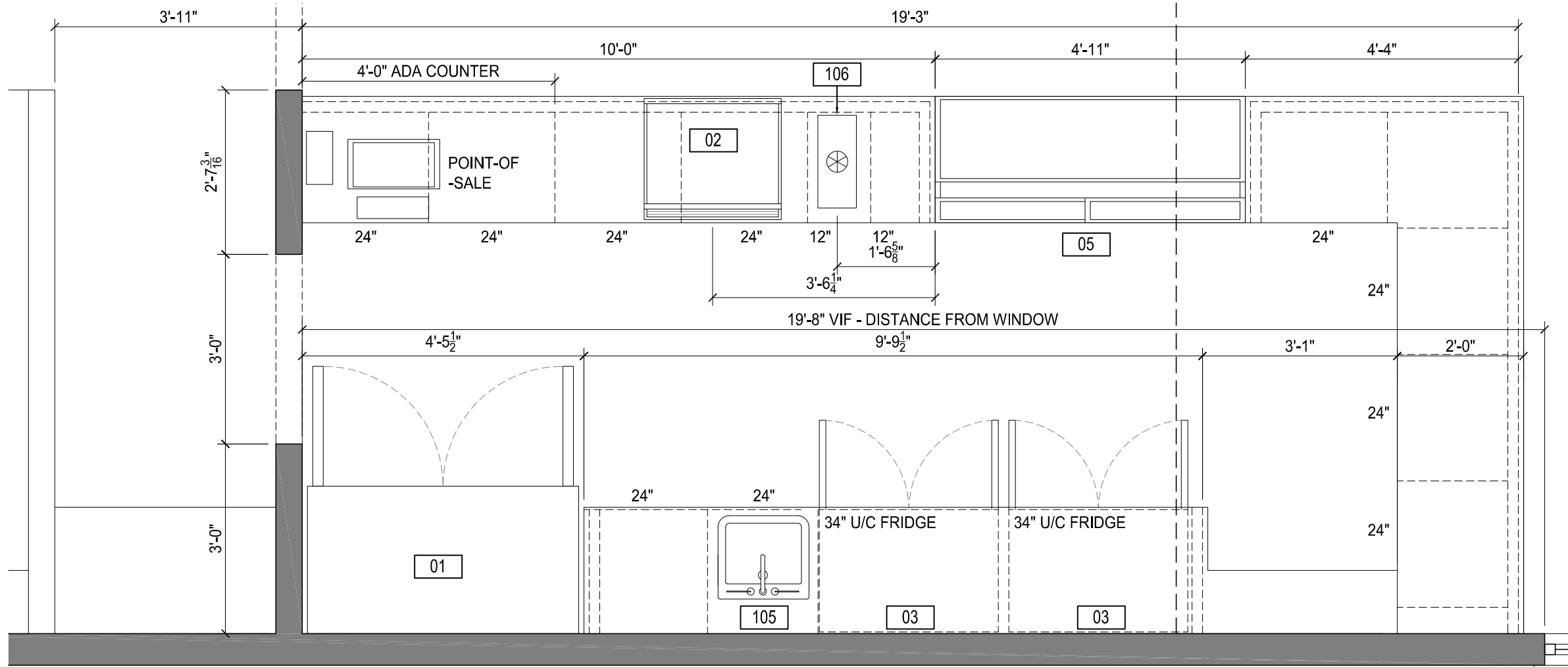
05  
A6.0  
**KITCHEN SECTION**  
1/2" = 1'-0"



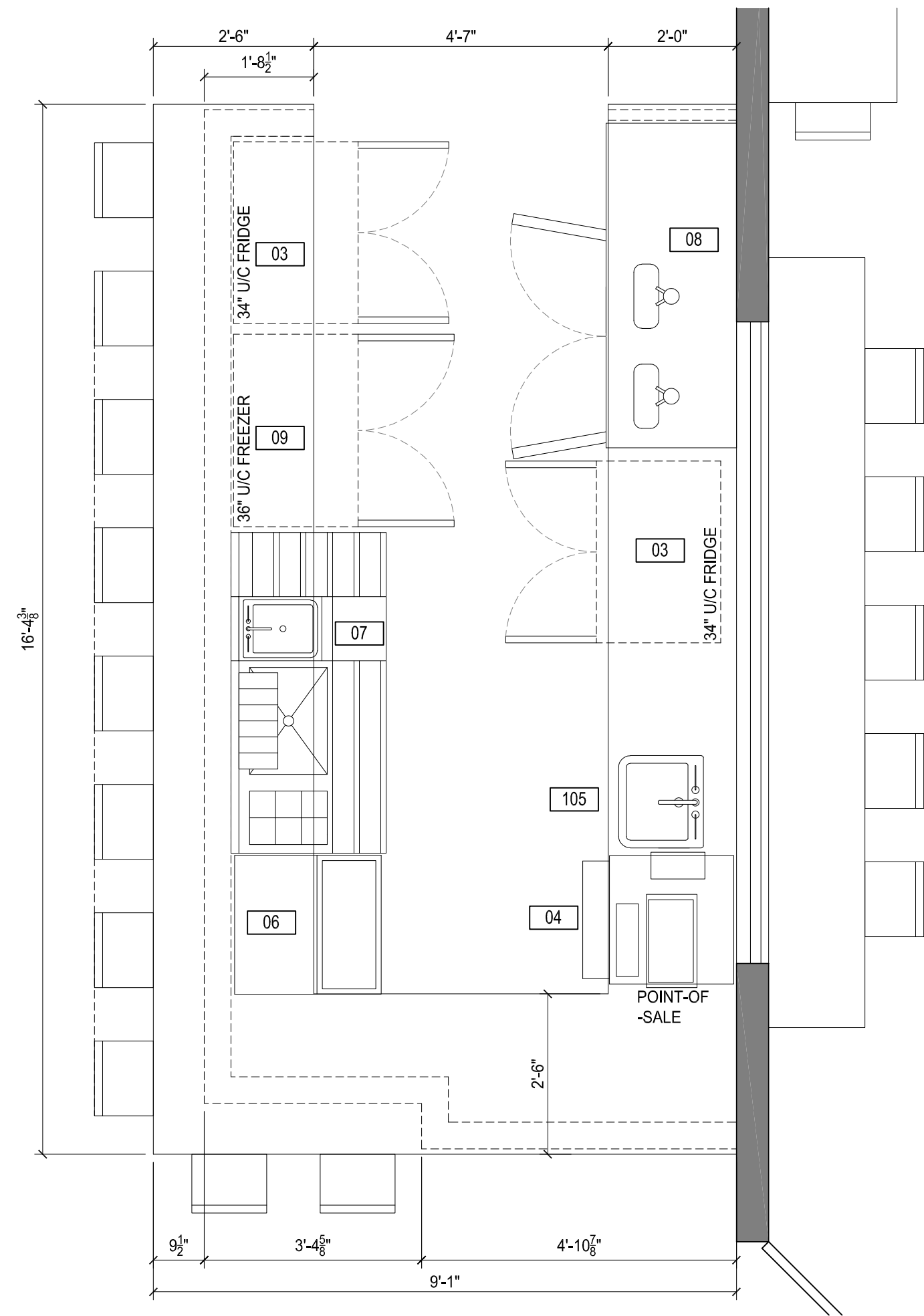
04  
A6.0  
**DINING SECTION**  
1/4" = 1'-0"



03  
A6.0  
**ENLARGED KITCHEN PLAN**  
1/2" = 1'-0"



02  
A6.0  
**ENLARGED CAFE PLAN**  
1/2" = 1'-0"



01  
A6.0  
**ENLARGED BAR PLAN**  
1/2" = 1'-0"

Revisions		
No.	Date	Type
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-	06/19/22	CLIENT REVIEW


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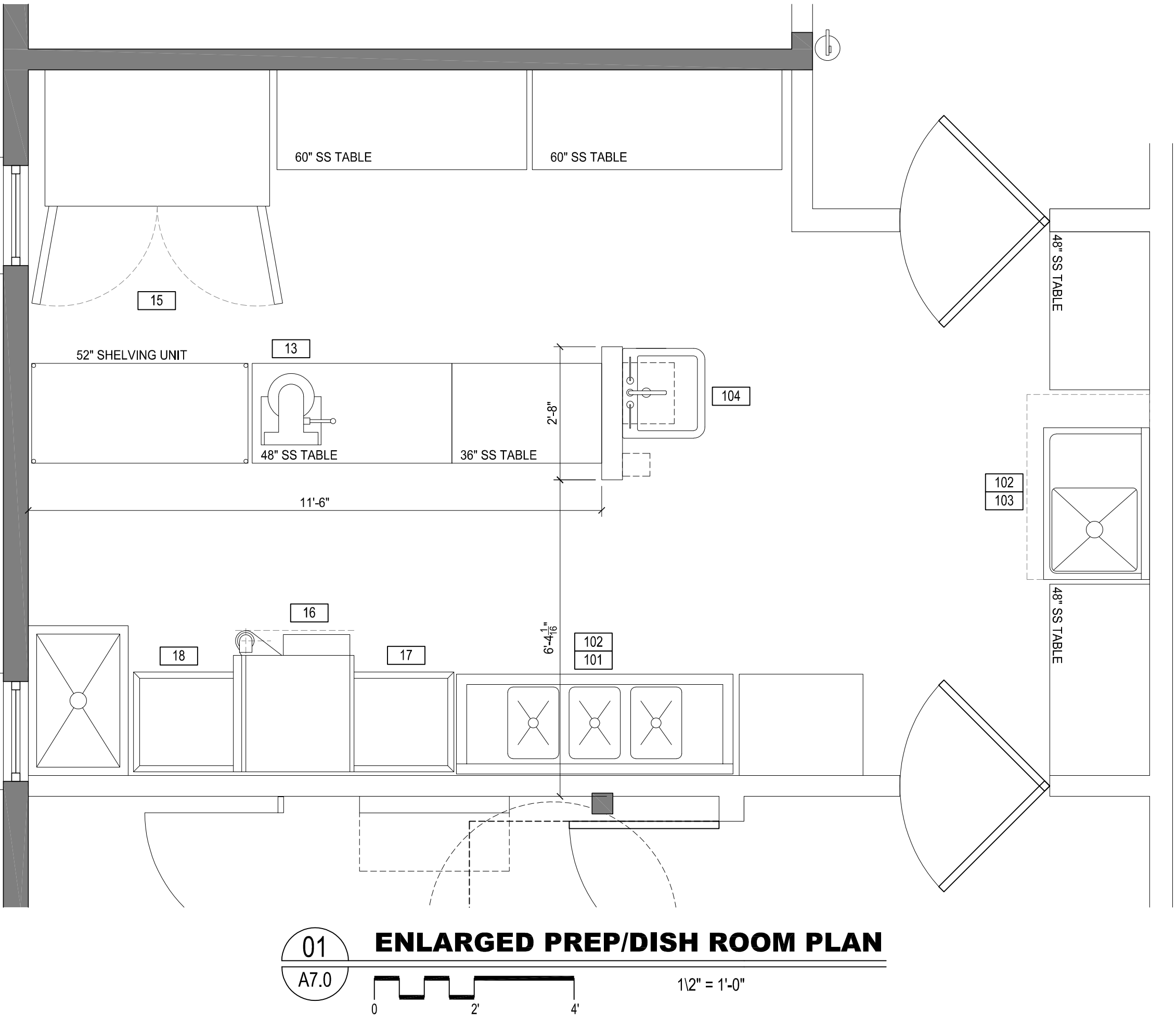
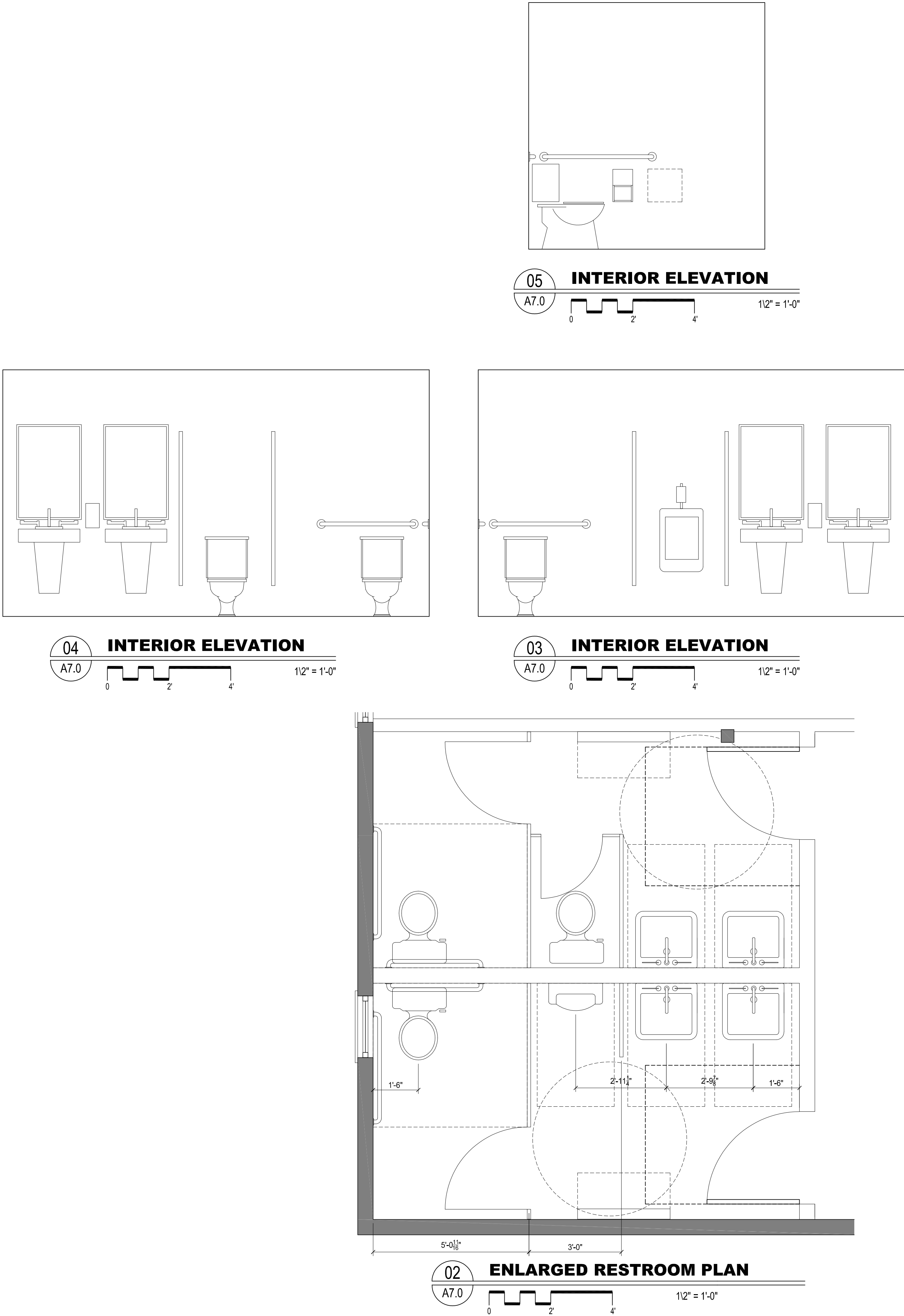
ENLARGED PLANS

A7.0

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EQUIPMENT SCHEDULE				
TAG	TYPE	MANUFACTURER	SPECIFICATION	NOTES
01	COCA COLA COOLER	-	MODEL NUMBER GDM-45	-
02	ESPRESSO MACHINE	ILLY	UNIC TWIN PHOENIX M.I.I.PER (ITEM #2447)	-
03	UNDERCOUNTER REFRIDGERATOR	BEVERAGE-AIR	UCR34HC - 34"	GLASS DOORS AND LED LIGHTING (FROM WEBRESTAURANT)
04	BAR DISHWASHER	AUTO-CHLOR	U34 SPACESAVER SINGLE RACK U/C LOW ENERGY	-
05	GELATO MACHINE COOLER	ISA MILLENIUM	L 170 GALATO MACHINE	-
06	UNDERCOUNTER ICE MAKER	SCOTSMAN	CU1528MA-1 PRODIGY SERIES 26" AIR COOLED	MEDIUM CUBED MACHINE - 150 LB
07	BAR WITH COCKTAIL STATION	EAGLE GROUP	VVS-60-2 SPEC BAR 60" STAINLESS STEEL COMBINATION	COCKTAIL STATION WITH 12" RECESSED WORKBOARD
08	DOUBLE TAP KEG	AVANTCO	UDD-60-HC (2) DOUBLE TAP BEER DISPENSER	BLACK (2) 1/2 KEG CAPACITY
09	UNDERCOUNTER 36" FREEZER	AVANTCO	SSUC SERIES UNDERCOUNTER FREEZER MODEL #178SSUC36FHC	-
10	SALAD PREP TABLE	AVANTCO	PICL SERIES REFRIDGERATED-60" 178PICL260HC	-
11	PIZZA PREP TABLE	AVANTCO	178PICL3HC - 93" REFRIDGERATED PIZZA PREP TABLE	-
12	UNDERCOUNTER REFRIDGERATOR	AVANTCO	SSUC SERIES UNDERCOUNTER REFRIDGERATOR MODEL #178SSUC60RHC	-
13	MIXER (PRIMARY)	ARTIZAN PIZZA SOLUTIONS	MODEL IM44AD COMMERCIAL SPIRAL MIXER (220V 3 PHASE)	-
14	MIXER (SECONDARY)	ARTIZAN PIZZA SOLUTIONS	MODEL IM44AM COMMERCIAL SPIRAL MIXER (220V SINGLE PHASE)	-
15	TWO DOOR REFRIDGERATOR/FREEZER	ARCTIC AIR	AF49 TWO DOOR REACH-IN FREEZER	-
16	DISHWASHER MACHINE	AUTO-CHLOR	SYSTEM A4 WATERSAVER - SINGLE RACK - IN LINE - LOW ENERGY	-
17	TABLE (LEFT SIDE)	EAGLE GROUP	CDTR 36" 16 GA. 430 STAINLESS STEEL CLEAN DISH TABLE	-
18	TABLE (RIGHT SIDE)	EAGLE GROUP	CDTR 36" 16 GA. 430 STAINLESS STEEL CLEAN DISH TABLE	-
19	PIZZA OVEN	ACUNTA WOOD FIRED	ANGOLARE 130	ACUNTA NAPOLI OVENS

FIXTURE SCHEDULE				
TAG	TYPE	MANUFACTURER	SPECIFICATION	NOTES
101	THREE COMPARTMENT SINK	KLINGERS TRADING	HEAVY DUTY STAINLESS STEEL THREE COMPARTMENT SINK (ETS32D)	w/ DOUBLE DRAINBOARDS
102	FAUCET	REGENCY (FROM: WEBRESTAURANT)	WALL MOUNT PRE-RINSE FAUCET #600FPRS12LL	12" ADD-ON FAUCET AND WALL BRACKET
103	TWO COMPARTMENT SINK	KOOLMORE	2-COMPARTMENT STAINLESS STEEL NFS COMMERCIAL KITCHEN	PREP AND UTILITY SINK WITH DRAINBOARD
104	WALL-HUNG SINK	REGENCY (FROM: WEBRESTAURANT)	17" X 15" WALL-MOUNTED HAND SINK WITH GOOSENECK #600HS17SP)	SIDE SPLASH
105	BAR SINK	REGENCY (FROM: WEBRESTAURANT)	10" X 14" X 10" 16 GA. STAINLESS STEEL #600DI1101410	ONE COMPARTMENT DROP-IN SINK w/ 8" GOOSENECK FAUCET
106	PITCHER RINSER	STEAMING PITCHER SINER SINK	AUTOMATIC STAINLESS STEEL CUP WASHER/CLEANER	-





EXTERIOR NOTES / SPECIFICATIONS

1. EXTERIOR SIGNAGE TO BE PERMITTED SEPARATELY.
2. PREP EXTERIOR FOR NEW PAINT-CONFIRM WITH OWNER.

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Revisions		
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4391 FLOYD ROAD  
MABLETON, GEORGIA 30126

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ELEVATIONS

A8.0

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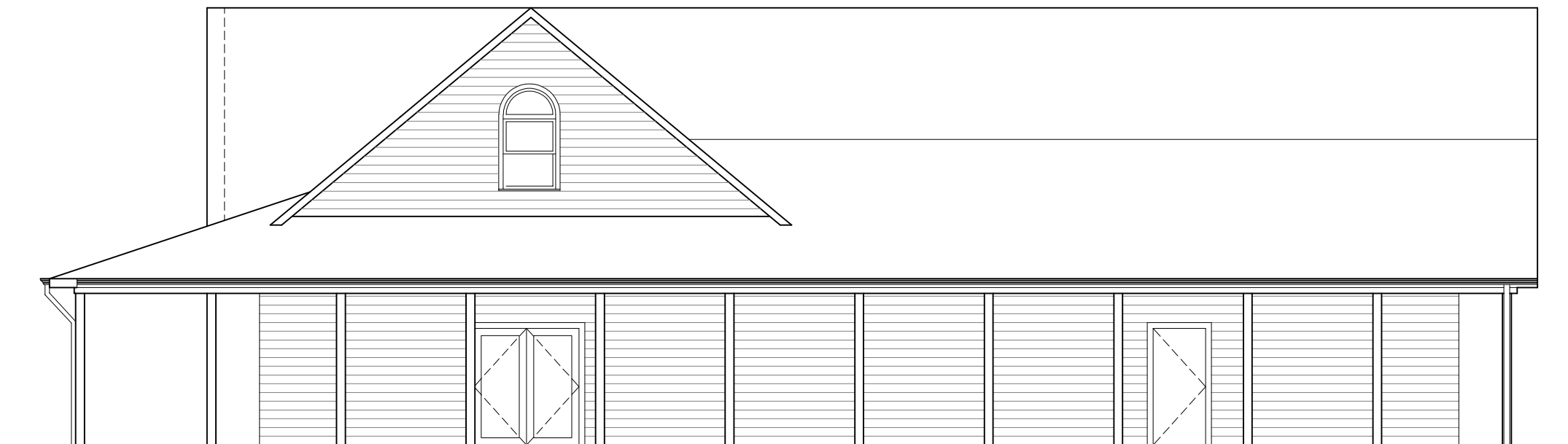
04

EXTERIOR ELEVATION - WEST

A8.0

0 8' 16'

1/8" = 1'-0"



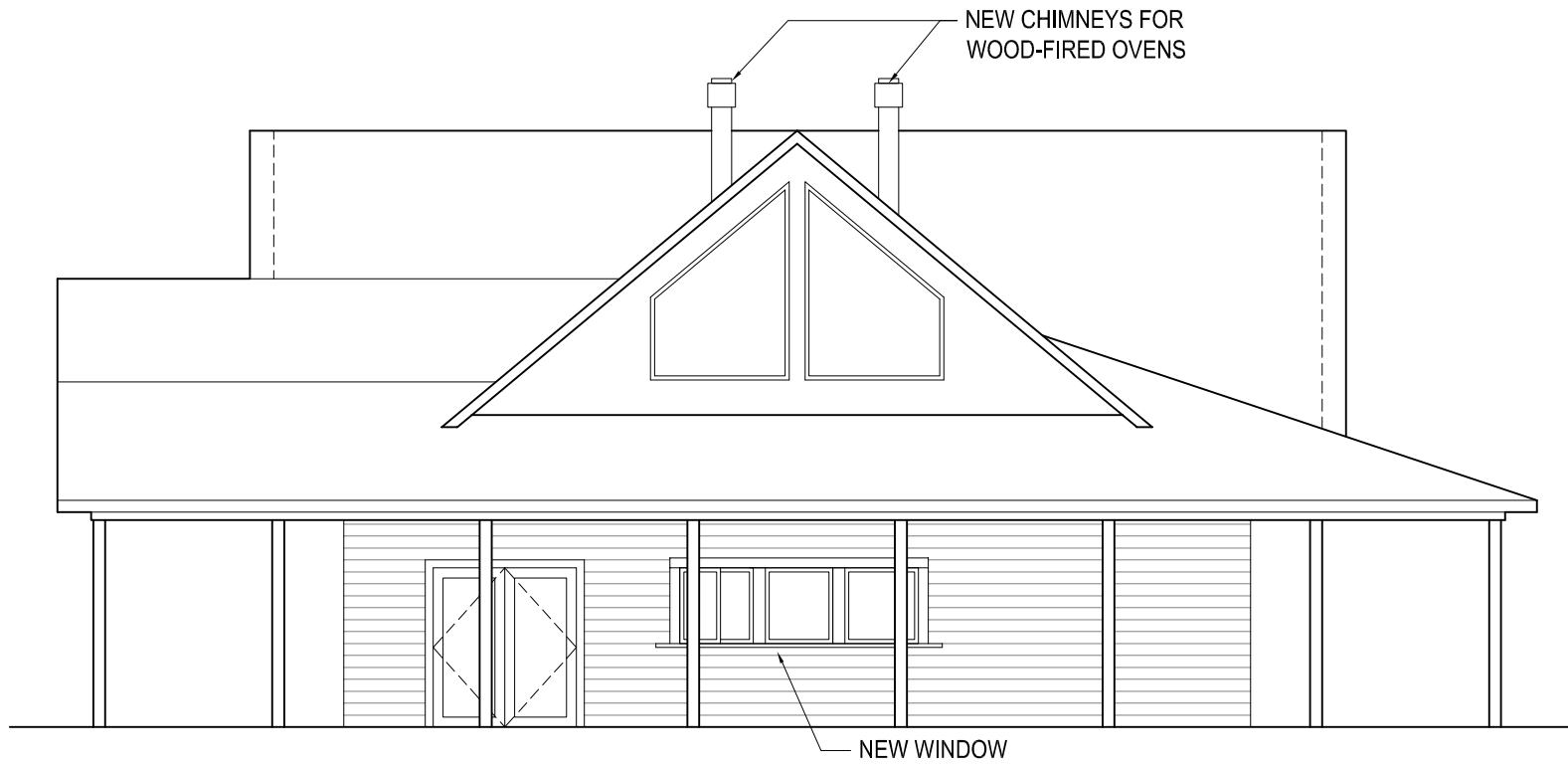
03

EXTERIOR ELEVATION - NORTH

A8.0

0 8' 16'

1/8" = 1'-0"



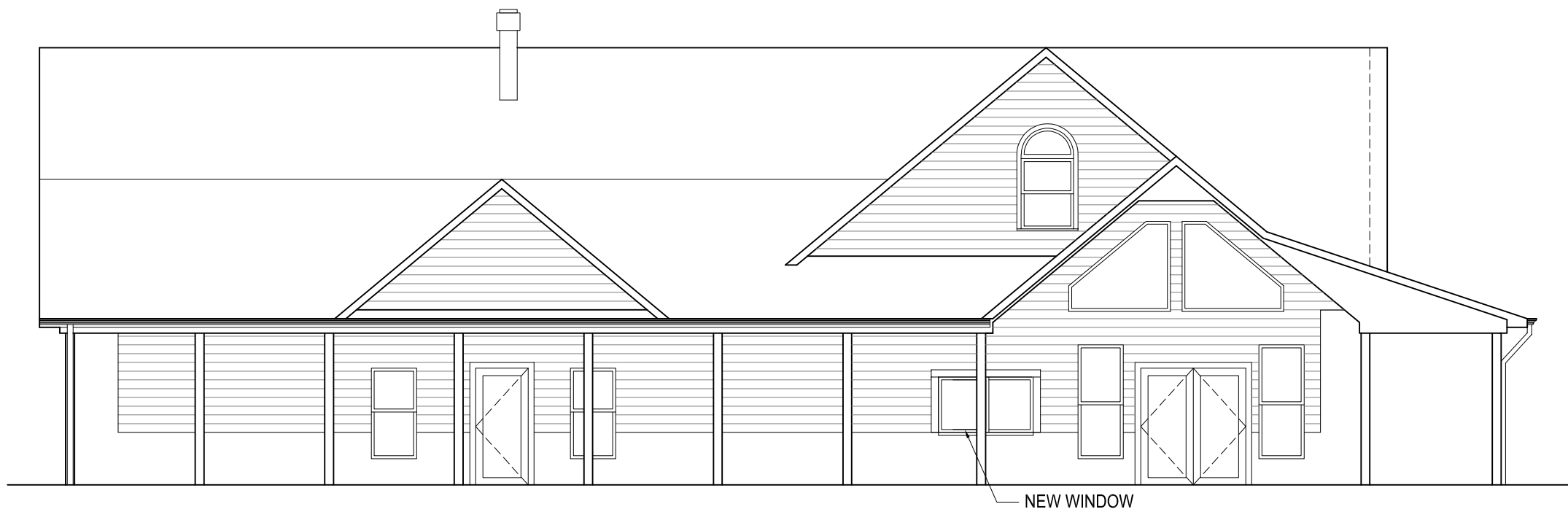
02

EXTERIOR ELEVATION - EAST

A8.0

0 8' 16'

1/8" = 1'-0"



01

EXTERIOR ELEVATION - SOUTH

A8.0

0 8' 16'

1/8" = 1'-0"

[illegible]

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ASHLEY PARK  
316 NEWMAN CROSSING BLVD,  
SPACE #316 A/B  
NEWMAN, GEORGIA 30265

COMMISSION NO:  
1806.00

SHEET TITLE:  
FLOOR PLAN

SHEET NO:

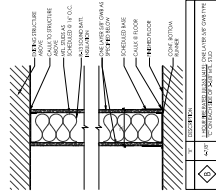
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## SCALE: 3/8"=1'-0"

[illegible]

TEST	IN	DESCRIPTION
A	6"x8"	ONE LAYER GMB ON BOTH SIDES OF 5.8" W/L STUDS
A1	5"x12"	ONE LAYER GMB ON BOTH SIDES OF 6" W/L STUDS SEE SPEC. SECTION 21



	Y	DESCRIPTION
	4-73	1 HOUR PER PAID PERSON MIN. ONE LAYER 5/8" GRS FINE TC ON EACH SIDE OF 3-0.8" MIN. STRIP

LEGEND	
	EXISTING WALLS
	NEW FLOOR TO CEILING WALLS
	NEW KNEE WALL

[illegible]

1000

