

GARVIS L. SAMS, JR.
JOEL L. LARKIN
PARKS F. HUFF

SAMS, LARKIN & HUFF
A LIMITED LIABILITY PARTNERSHIP
SUITE 100
376 POWDER SPRINGS STREET
MARIETTA, GEORGIA 30064-3448

770•422•7016
TELEPHONE
770•426•6583
FACSIMILE

October 12, 2022

VIA EMAIL

Mr. John P. Pederson, AICP, Manager
Cobb County Zoning Division
Community Development Agency
1150 Powder Springs Road, Suite 400
Marietta, GA 30064

Re: Other Business Application of Clydesdale Holdings, LLC to request a Site Plan Amendment regarding No. Z-74 [1995] (OB-57)

Dear John:

I represent the Applicant (Clydesdale Holdings, LLC) concerning the above-captioned Other Business Application regarding this tract located at 4865 Floyd Road, at the southeast intersection of Floyd Road and White Boulevard. The site has operated as an Autobell Carwash for many years and was recently acquired by the applicant to rebrand the location as a Caliber Car Wash. This rebranding will also include modernizing the carwash to be a remodeled tunnel car wash that will recycle water. The drying area was where employees would wipe down and vacuum cars for customers' self-serve vacuum stations. Below are conditions that the applicant would ask to be attached to the approval of the Other Business Item.

- 1) The revised site plan shall replace the existing approved site plan. The District Commissioner can approve minor modifications to this site plan.
- 2) The attached landscape plan shall be implemented and maintained which shall include the proposed bushes and plants along Floyd Road.
- 3) The use shall be a car wash with no other uses unless approved by the District Commissioner.
- 4) The building elevations will be as depicted in the attachment.



VIA EMAIL

Mr. John P. Pederson, AICP, Manager
Cobb County Zoning Division
Community Development Agency
October 12, 2022
Page 2

Please do not hesitate to contact me should you have any questions whatsoever regarding these matters. With kind regards, I am

Very truly yours,

SAMS, LARKIN & HUFF, LLP

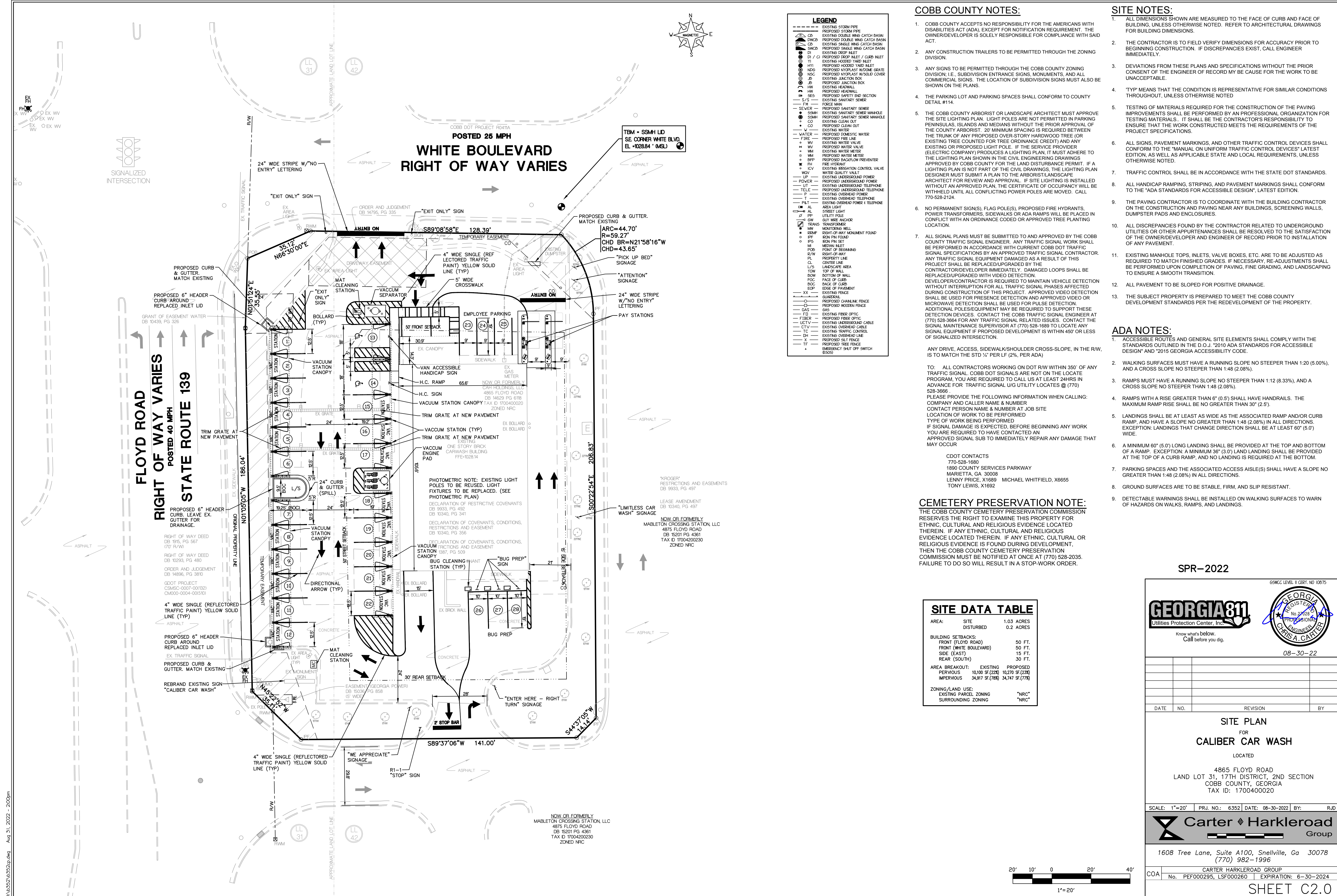
A handwritten signature in black ink, appearing to read "Parks F. Huff".

Parks F. Huff
phuff@samslarkinhuff.com

PFH/jcc
Enclosures/Attachments

cc: Members, Cobb County Board of Commissioners (via email w/attachments)
Members, Cobb County Planning Commission (via email w/attachments)
BOC Commission Assistants (via email w/attachments)
Ms. Jessica Guinn, AICP, Director, Community Development (via email w/attachments)
Ms. Jeannie Peyton, Senior Planner (via email w/attachments)
Mr. Terry Martin, Planner III (via email w/attachments)
Mr. Donald Wells, Planner II (via email w/attachments)
Ms. Margie Vazquez, Planner II (via email w/attachments)
Mr. LeDarius Scott, Planner I (via email w/attachments)
Ms. Pamela Mabry, County Clerk (via email w/attachments)
Ms. Robin Stone, Deputy County Clerk (via email w/attachments)
Ms. Leila Washington, Deputy County Clerk (via email w/attachments)
Captain Josh Davis, Fire Marshal's Office (via email w/attachments)
Mr. Carl Carver, P.E., Stormwater Management Division (via email w/attachments)
Ms. Amy Diaz, P.E., Cobb DOT (via email w/attachments)
Ms. Abby Rettig, Cobb DOT (via email w/attachments)
Mr. Tim Davidson, Water System (via email w/attachments)
Ms. Robin Meyer, Mableton Improvement Coalition Zoning Committee Chair

\\s32\6352\6352.dwg Aug 31, 2022 - 2:00pm



COBB COUNTY NOTES:

- COBB COUNTY ACCEPTS NO RESPONSIBILITY FOR THE AMERICANS WITH DISABILITIES ACT (ADA), EXCEPT FOR NOTIFICATION REQUIREMENT. THE OWNER/DEVELOPER IS SOLELY RESPONSIBLE FOR COMPLIANCE WITH SAID ACT.
- ANY CONSTRUCTION TRAILERS TO BE PERMITTED THROUGH THE ZONING DIVISION.
- ANY SIGNS TO BE PERMITTED THROUGH THE COBB COUNTY ZONING DIVISION; I.E., SUBDIVISION ENTRANCE SIGNS, MONUMENTS, AND ALL COMMERCIAL SIGNS. THE LOCATION OF SUBDIVISION SIGNS MUST ALSO BE SHOWN ON THE PLANS.
- THE PARKING LOT AND PARKING SPACES SHALL CONFORM TO COUNTY DETAIL #114.
- THE COBB COUNTY ARBORIST OR LANDSCAPE ARCHITECT MUST APPROVE THE SITE LIGHTING PLAN. LIGHT POLES ARE NOT PERMITTED IN PARKING PENINSULAS, ISLANDS AND MEDIANS WITHOUT THE PRIOR APPROVAL OF THE COUNTY ARBORIST. 20' MINIMUM SPACING IS REQUIRED BETWEEN THE TRUNK OF ANY PROPOSED OVER-STORY HARDWOOD TREE OR EXISTING TREE COUNTED FOR TREE ORDNANCE CREDIT) AND ANY EXISTING OR PROPOSED LIGHT POLE. IF THE SERVICE PROVIDER (ELECTRIC COMPANY) PRODUCES A LIGHTING PLAN, IT MUST ADHERE TO THE LIGHTING PLAN SHOWN IN THE CIVIL ENGINEERING DRAWINGS APPROVED BY COBB COUNTY FOR THE LAND DISTURBANCE PERMIT. IF A LIGHTING PLAN IS NOT PART OF THE CIVIL DRAWINGS, THE LIGHTING PLAN ARCHITECT MUST SUBMIT A PLAN TO THE ARBORIST/LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. IF SITE LIGHTING IS INSTALLED WITHOUT AN APPROVED PLAN, THE CERTIFICATE OF OCCUPANCY WILL BE WITHHELD UNTIL ALL CONFLICTING POWER POLES ARE MOVED. CALL 770-528-2124.
- NO PERMANENT SIGN(S), FLAG POLE(S), PROPOSED FIRE HYDRANTS, POWER TRANSFORMERS, SIDEWALKS OR ADA RAMPS WILL BE PLACED IN CONFLICT WITH AN ORDINANCE CODED OR APPROVED TREE PLANTING LOCATION.
- ALL SIGNAL PLANS MUST BE SUBMITTED TO AND APPROVED BY THE COBB COUNTY TRAFFIC SIGNAL ENGINEER. ANY TRAFFIC SIGNAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT COBB DOT TRAFFIC SIGNAL SPECIFICATIONS BY AN APPROVED TRAFFIC SIGNAL CONTRACTOR. ANY TRAFFIC SIGNAL EQUIPMENT DAMAGED AS A RESULT OF THIS PROJECT SHALL BE REPLACED/UPGRADED BY THE CONTRACTOR/DEVELOPER IMMEDIATELY. DAMAGED LOOPS SHALL BE REPLACED/UPGRADED WITHIN 10 BUSINESS DAYS. THE DEVELOPER/CONTRACTOR IS REQUIRED TO MAINTAIN VEHICLE DETECTION WITHOUT INTERRUPTION FOR ALL TRAFFIC SIGNAL PHASES AFFECTED DURING CONSTRUCTION OF THIS PROJECT. APPROVED VIDEO DETECTION SHALL BE USED FOR PRESENCE DETECTION AND APPROVED VIDEO OR MICROWAVE DETECTION SHALL BE USED FOR PLUSE DETECTION. ADDITIONAL POLES/EQUIPMENT MAY BE REQUIRED TO SUPPORT THESE DETECTION DEVICES. CONTACT THE COBB TRAFFIC SIGNAL ENGINEER AT (770) 528-3664 FOR ANY TRAFFIC SIGNAL RELATED ISSUES. CONTACT THE SIGNAL MAINTENANCE SUPERVISOR AT (770) 528-1889 TO LOCATE ANY SIGNAL EQUIPMENT IF PROPOSED DEVELOPMENT IS WITHIN 450' OR LESS OF SIGNALIZED INTERSECTION.

ANY DRIVE, ACCESS, SIDEWALK/SIDEWALK CROSS-SLOPE, IN THE R.W. IS TO MATCH THE STD 1/2" PER LF (2%, PER ADA)

TO: ALL CONTRACTORS WORKING ON DOT R/W WITHIN 350' OF ANY TRAFFIC SIGNAL. COBB DOT SIGNALS ARE NOT ON THE LOCATE PROGRAM, YOU ARE REQUIRED TO CALL US AT LEAST 24HRS IN ADVANCE FOR TRAFFIC SIGNAL U/G UTILITY LOCATES @ (770) 528-3666. PLEASE PROVIDE THE FOLLOWING INFORMATION WHEN CALLING: COMPANY AND CALLER NAME & NUMBER. CONTACT PERSON NAME & NUMBER AT JOB SITE. LOCATION OF WORK TO BE PERFORMED. TYPE OF WORK BEING PERFORMED. IF SIGNAL DAMAGE IS EXPECTED, BEFORE BEGINNING ANY WORK YOU ARE REQUIRED TO HAVE CONTACTED AN APPROVED SIGNAL SUB TO IMMEDIATELY REPAIR ANY DAMAGE THAT MAY OCCUR.

CDOT CONTACTS
770-528-1680
1890 COUNTY SERVICES PARKWAY
MARIETTA, GA 30068
LENNY PRICE, X1689 MICHAEL WHITFIELD, X6655
TONY LEWIS, X1692

CEMETERY PRESERVATION NOTE:

THE COBB COUNTY CEMETERY PRESERVATION COMMISSION RESERVES THE RIGHT TO EXAMINE THIS PROPERTY FOR ETHNIC, CULTURAL AND RELIGIOUS EVIDENCE LOCATED THEREIN. IF ANY ETHNIC, CULTURAL OR RELIGIOUS EVIDENCE IS FOUND DURING DEVELOPMENT, THEN THE COBB COUNTY CEMETERY PRESERVATION COMMISSION MUST BE NOTIFIED AT ONCE AT (770) 528-2035. FAILURE TO DO SO WILL RESULT IN A STOP-WORK ORDER.

SITE DATA TABLE

AREA:	SITE	1.03 ACRES
	DISTURBED	0.2 ACRES
BUILDING SETBACKS:		
FRONT (FLOYD ROAD)	50 FT.	
FRONT (WHITE BOULEVARD)	50 FT.	
SIDE (EAST)	15 FT.	
REAR (SOUTH)	30 FT.	
AREA BREAKOUT:		
PERVIOUS	10,100 SF (22%)	10,270 SF (23%)
IMPERVIOUS	34,917 SF (78%)	34,747 SF (77%)
ZONING/LAND USE:		
EXISTING PARCEL ZONING	"NRC"	
SURROUNDING ZONING	"NRC"	

SITE NOTES:

- ALL DIMENSIONS SHOWN ARE MEASURED TO THE FACE OF CURB AND FACE OF BUILDING, UNLESS OTHERWISE NOTED. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS.
- THE CONTRACTOR IS TO FIELD VERIFY DIMENSIONS FOR ACCURACY PRIOR TO BEGINNING CONSTRUCTION. IF DISCREPANCIES EXIST, CALL ENGINEER IMMEDIATELY.
- DEVIATIONS FROM THESE PLANS AND SPECIFICATIONS WITHOUT THE PRIOR CONSENT OF THE ENGINEER OF RECORD MY BE CAUSE FOR THE WORK TO BE UNACCEPTABLE.
- "TYP" MEANS THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED
- TESTING OF MATERIALS REQUIRED FOR THE CONSTRUCTION OF THE PAVING IMPROVEMENTS SHALL BE PERFORMED BY AN PROFESSIONAL ORGANIZATION FOR TESTING MATERIALS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WORK CONSTRUCTED MEETS THE REQUIREMENTS OF THE PROJECT SPECIFICATIONS.
- ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" LATEST EDITION, AS WELL AS APPLICABLE STATE AND LOCAL REQUIREMENTS, UNLESS OTHERWISE NOTED.
- TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE STATE DOT STANDARDS.
- ALL HANDICAP RAMPING, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO THE "ADA STANDARDS FOR ACCESSIBLE DESIGN", LATEST EDITION.
- THE PAVING CONTRACTOR IS TO COORDINATE WITH THE BUILDING CONTRACTOR ON THE CONSTRUCTION AND PAVING NEAR ANY BUILDINGS, SCREENING WALLS, DUMPSTER PADS AND ENCLOSURES.
- ALL DISCREPANCIES FOUND BY THE CONTRACTOR RELATED TO UNDERGROUND UTILITIES OR OTHER APPURTENANCES SHALL BE RESOLVED TO THE SATISFACTION OF THE OWNER/DEVELOPER AND ENGINEER OF RECORD PRIOR TO INSTALLATION OF ANY PAVEMENT.
- EXISTING MANHOLE TOPS, INLETS, VALVE BOXES, ETC. ARE TO BE ADJUSTED AS REQUIRED TO MATCH FINISHED GRADES. IF NECESSARY, RE-ADJUSTMENTS SHALL BE PERFORMED UPON COMPLETION OF PAVING, FINE GRADING, AND LANDSCAPING TO ENSURE A SMOOTH TRANSITION.
- ALL PAVEMENT TO BE SLOPED FOR POSITIVE DRAINAGE.
- THE SUBJECT PROPERTY IS PREPARED TO MEET THE COBB COUNTY DEVELOPMENT STANDARDS PER THE REDEVELOPMENT OF THE PROPERTY.

ADA NOTES:

- ACCESSIBLE ROUTES AND GENERAL SITE ELEMENTS SHALL COMPLY WITH THE STANDARDS OUTLINED IN THE D.O.J. "2010 ADA STANDARDS FOR ACCESSIBLE DESIGN" AND "2015 GEORGIA ACCESSIBILITY CODE."
- WALKING SURFACES MUST HAVE A RUNNING SLOPE NO STEEPER THAN 1:20 (5.00%), AND A CROSS SLOPE NO STEEPER THAN 1:48 (2.08%).
- RAMPS MUST HAVE A RUNNING SLOPE NO STEEPER THAN 1:12 (8.33%), AND A CROSS SLOPE NO STEEPER THAN 1:48 (2.08%).
- RAMPS WITH A RISE GREATER THAN 6" (0.5') SHALL HAVE HANDRAILS. THE MAXIMUM RAMP RISE SHALL BE NO GREATER THAN 30" (2.5').
- LANDINGS SHALL BE AT LEAST AS WIDE AS THE ASSOCIATED RAMP AND/OR CURB RAMP, AND HAVE A SLOPE NO GREATER THAN 1:48 (2.08%) IN ALL DIRECTIONS. EXCEPTION: LANDINGS THAT CHANGE DIRECTION SHALL BE AT LEAST 60" (5.0') WIDE.
- A MINIMUM 60" (5.0') LONG LANDING SHALL BE PROVIDED AT THE TOP AND BOTTOM OF A RAMP. EXCEPTION: A MINIMUM 36" (3.0') LAND LANDING SHALL BE PROVIDED AT THE TOP OF A CURB RAMP, AND NO LANDING IS REQUIRED AT THE BOTTOM.
- PARKING SPACES AND THE ASSOCIATED ACCESS AISLE(S) SHALL HAVE A SLOPE NO GREATER THAN 1:48 (2.08%) IN ALL DIRECTIONS.
- GROUND SURFACES ARE TO BE STABLE, FIRM, AND SLIP RESISTANT.
- DETECTABLE WARNINGS SHALL BE INSTALLED ON WALKING SURFACES TO WARN OF HAZARDS ON WALKS, RAMPS, AND LANDINGS.

SPR-2022

GEORGIA811

Utilities Protection Center, Inc.

Know what's below.
Call before you dig.

GEORGIA REGISTERED PROFESSIONAL ENGINEER

Chris A. Carter

08-30-22

DATE	NO.	REVISION	BY
SITE PLAN FOR CALIBER CAR WASH LOCATED 4865 FLOYD ROAD LAND LOT 31, 17TH DISTRICT, 2ND SECTION COBB COUNTY, GEORGIA TAX ID: 1700400020			
SCALE: 1"=20'	PRJ. NO.: 6352	DATE: 08-30-2022	BY: RJD
<div><div>Carter</div><div>Harkleroad</div><div>Group</div></div>			
1608 Tree Lane, Suite A100, Snellville, Ga 30078 (770) 982-1996			
COA	CARTER HARKLEROAD GROUP No. PEF000295, LSF000260 EXPIRATION: 6-30-2024		
SHEET C2.0			

CALIBER CAR WASH - 4865 FLOYD ROAD

Parking lot islands and medians must be covered with four (4) inches of organic mulch material (replaced periodically). To discourage soil compaction from pedestrian traffic, these areas may be planted with low evergreen shrubs, but not with grass.

Parking lot islands, peninsulas and medians must have a minimum width of eight (8) feet from back of curb. Peninsulas must have a minimum depth of 18.5 feet from back of curb.

No permanent sign(s), flag pole(s), proposed fire hydrants or power transformers will be placed in conflict with an ordinance coded or approved tree planting location.

Fiscal surety for maintenance of planted trees must be in place prior to the issuance of the certificate of occupancy. A maintenance inspection will be performed prior to the scheduled release date of the posted fiscal surety to determine the health of the trees planted to meet the requirements of this ordinance as well as any buffer plantings.

An automatic underground irrigation system will be installed on this project to provide irrigation to all proposed shrub beds, trees, and turf areas, including buffer plantings.

The installation of the irrigation system or hose (as specified on this plan), will be verified by the County Arborist prior to the release of this project for a Certificate of Occupancy.

All electronic landscape irrigation systems installed after January 2, 2005 must be equipped with a rain sensor shut-off switch in accordance with Georgia HB 1277.

A Maintenance bond, letter of credit or escrow account is required for all materials planned to meet ordinance requirements. The amount of this "Maintenance surety" must be 110% of the cost of all required plant materials and the cost of the installation and guarantee of those materials. The surety is the responsibility of the owner/developer of the project. It must be prepared on forms provided by the Community Development Agency and must be posted prior to the issuance of the Certificate of Occupancy (CO). And will cover the existing trees whose Critical Root Zone (CRZ) is impacted.

The expiration date of the surety instrument shall be determined as thirty (30) months from the date of the surety. For all plant materials that will be irrigated by an automated irrigation system, and no watering restrictions are in place prohibiting its use for all required trees and plants, the surety expiration can be reduced to eighteen (18) months.

Installed trees must be allowed to grow to their natural size and shape and not be pruned in conflict with ANSI A300 Standards (No topping, limbing up, lion tailing, etc).

Any clearing of this property that results in the sale of timber shall conform to state law regarding payment of taxes on such timber. A Georgia Department of Revenue Form PT-283-T (see attached sample form) along with the required tax payment must be submitted to the Cobb County Board of Tax Assessors Office within the time frame prescribed by state law.

Responsibility for the payment of these taxes rests with the landowner, whether or not the landowner receives any money for the timber. To assure that the land owner is aware of this obligation, and to provide documentation for the Board of Tax Assessor, the attached affidavit must be completed and signed by the land owner prior to the issuance of the land disturbance permit.

Tree protection devices must be installed and inspected prior to any clearing, grubbing or grading. For projects over two (2) acres, a professional designer must verify that the tree protection fences were installed as shown on the approved plans or in locations that provided better tree preservation potential. Submit this verification prior to the approval of the final plat for residential subdivisions or prior to the issuance of the building permit for commercial projects.

A pre-construction conference is required prior to the issuance of the on-site construction permit. Call the Site Inspections Section at (770) 528-2142 to arrange a meeting at the site.

Tree protection and replacement shall be enforced according to Cobb County standards. Any field adjustments to tree protection device types or locations or substitutions of plant materials shown on the approved plans are subject to the review and approval of the Cobb County Arborist or County Landscape Architect.

Buffers must be planted to Cobb County Standards where sparsely vegetated or where disturbed for approved utility or access crossings.

Provide 20' minimum spacing between the trunks of all deciduous shade trees. Provide greater spacing where possible.

Provide 20' minimum spacing between the trunks of all deciduous shade trees and any existing or proposed light poles. Provide greater spacing where possible.

Provide 15' minimum spacing between the trunks of all deciduous shade trees and any existing or proposed buildings. Provide greater spacing where possible.

Do not install over-story trees in locations where future conflicts with existing overhead utility lines will be inevitable. Contact the Cobb County Arborist or Landscape Architect if any potential conflicts are identified during the installation process.

The site contractor shall coordinate service routing of all gas, telephone, and electrical lines with the appropriate utility company. All construction must comply with each utility's standards and specifications and not interfere with tree planting sites or existing trees to be preserved.

When digging near trees, the contractor shall prune all exposed roots one (1) inch in diameter and larger on the side of the trench adjacent to the trees. Pruning shall consist of making a clean cut flush with the side of the trench to promote new root growth.

Pruning of tree limbs to provide clearance for equipment and materials shall be done according to standard arboricultural practice (see ANSI A300-1995).

Protect the trunks of any trees being preserved within the temporary or permanent utility easements with strapped-on planking or similar protective device.

Parking lot islands, peninsulas and medians must have clean, cultivated soil to a total depth of two and one-half (2-1/2) feet. Native subsoil is acceptable in these areas if the soil is amended with appropriate soil amendments and thoroughly tilled. Otherwise, loamy topsoil is required.

The Cobb County Arborist or Landscape Architect must approve the site lighting plan (as it relates to location of poles only). Light poles are not permitted in parking peninsulas, islands and medians without the prior approval of the Cobb County Arborist. 20' minimum spacing is required between the trunk of any proposed over-story hardwood tree (or existing tree counted for tree ordinance credit) and any existing or proposed light pole. If the service provider (electric company) produces a lighting plan, it must adhere to the lighting plan shown in the civil engineering drawings provided by Cobb County for the land disturbance permit. If a lighting plan is not part of the civil drawings, the lighting plan designer must submit a plan to the Arborist/Landscape Architect for review and approval. If site lighting is installed without an approved plan, the Certificate of Occupancy will be withheld until all conflicting power poles are moved. Call 770-528-2147

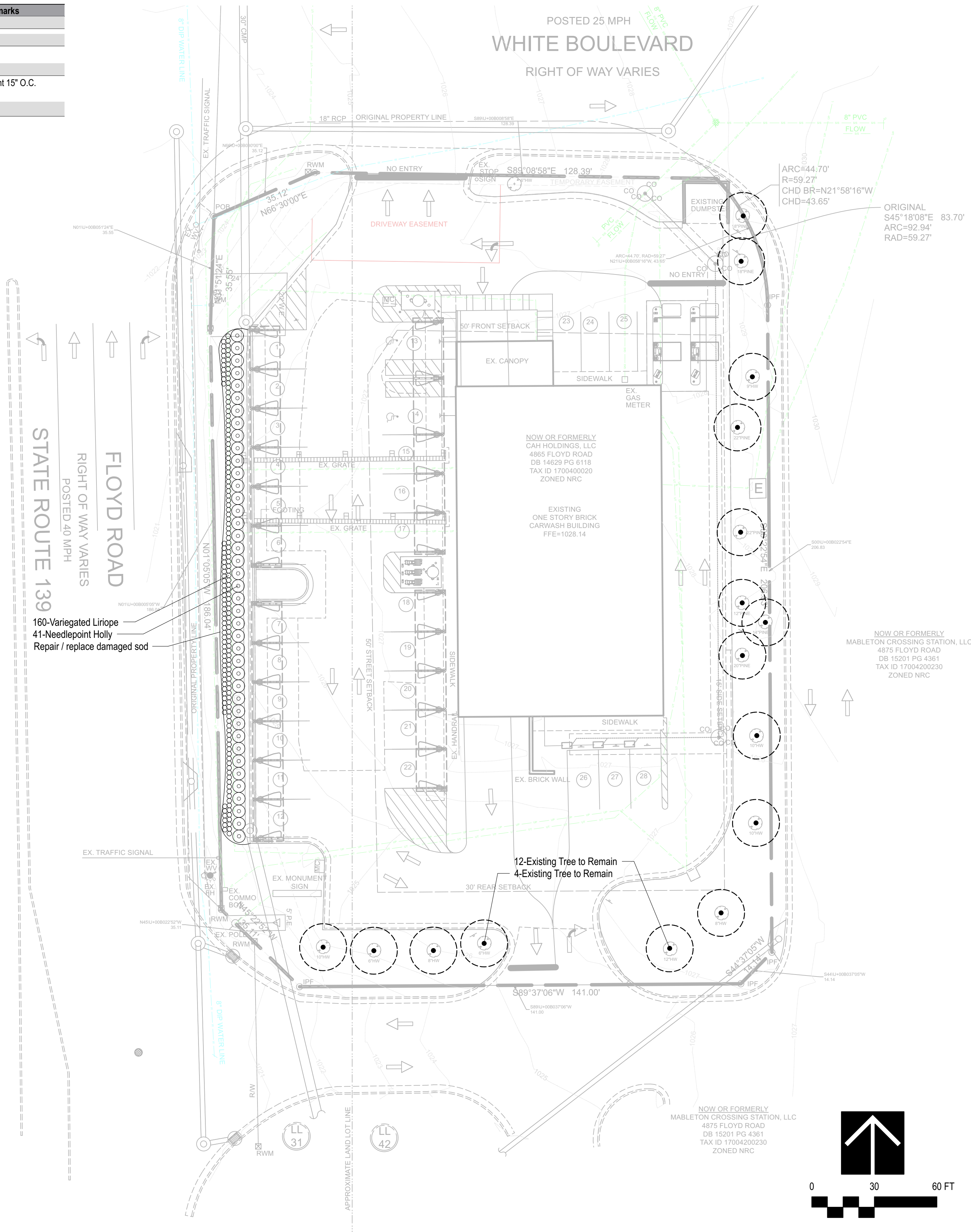
PLANT LIST				
Qty	Botanical Name	Common Name	Scheduled Size	Remarks
	Trees			
	Shrubs			
41	Ilex cornuta 'Needlepoint'	Needlepoint Holly	3 Gal.	
	Groundcovers			
160	Liriope muscari 'Variegata'	Variegated Liriope	1 Gal.	Plant 15" O.C.
	Other			

1. Landscape Contractor to read and understand the Landscape Details and Specifications prior to finalizing bids. The Landscape Specifications shall be adhered to throughout the construction process.
2. Contractor is responsible for locating and protecting all underground utilities prior to digging.
3. Contractor is responsible for protecting existing trees from damage during construction.
4. Contractor is responsible for understanding and adhering to all constraints and limits of the site ie: Code requirements as stated on the landscape plan, minimum plant sizes in the plant list, property boundaries, limits of disturbance, easements and buffers.
5. All tree protection devices to be installed prior to the start of land disturbance, and maintained until final landscaping.
6. Tree protection areas to be protected from sedimentation.
7. Tree protection fencing shall be inspected daily; repair or replaced as needed.
8. No parking, storage or other construction activities shall occur within tree protection areas.
9. All planting areas shall be cleaned of construction debris (ie. concrete, rock, rubble, building materials, etc) prior to adding and spreading of the topsoil.
10. Minimum 4" depth of topsoil shall be added to all planting and sodded areas. Graded areas shall be held down the appropriate elevation to account for topsoil depth. See Landscape Specifications for required topsoil characteristics.
11. Remove debris from all parking lot islands, fracture/loosen subgrade to a min. 24" depth and add topsoil to a 6"-8" bermed height above island curbing; refer to landscape specifications and landscape island detail.
12. Prior to beginning work, the Landscape Contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve topsoil provided by the General Contractor and observe the site conditions under which the work is to be done. Notify the General Contractor of any unsatisfactory conditions, work shall not proceed until such conditions have been corrected and are acceptable to the Landscape Contractor.
13. Any deviations from the approved set of plans shall be approved by the Landscape Architect.
14. Landscaping shall be installed in conformance with ANSI Z60.1 the "American Standard for Nursery Stock" and the accepted standards of the American Association of Nurserymen.
15. Existing grass in proposed planting areas shall be killed and removed. Hand rake to remove all rocks and debris larger than 1 inch in diameter, prior to adding topsoil and planting shrubs.
16. Sod to be delivered fresh (Cut less than 24 hours prior to arriving on site), laid immediately, rolled, and watered thoroughly immediately after planting. Edge of sod at planting beds are to be "V" trenched; see Landscape Details.
17. Any existing grass disturbed during construction to be fully removed, regraded and replaced. All tire marks and indentations to be repaired.
18. Soil to be tested to determine fertilizer and lime requirements prior to laying sod.
19. Annual and perennial beds: add min. 4 inch layer of organic material and till to a min. depth of 12 inches. Mulch annual and perennial beds with 3 inch depth of mulch nuggets.
20. All shrubs beds (existing and new) to be mulched with a min. 3 inch layer of mulch (brown, double shredded hardwood mulch).
21. Planting holes to be dug a minimum of twice the width of the root ball, for both shrubs and trees. Set plant material 2-3" above finish grade. Backfill planting pit with planting mix as specified in the Landscape Specifications.
22. Water thoroughly twice in first 24 hours and apply mulch immediately.
23. The Landscape Contractor shall guarantee all plants installed for one full year from date of acceptance by the owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period. The Landscape Contractor shall not be responsible for acts of God or vandalism. See Landscape Specifications for Warranty requirements/expectations.
24. Any plant that is determined dead, in an unhealthy, unsightly condition, lost its shape due to dead branches, or other symptoms of poor, non-vigorous growth, shall be replaced by the Landscape Contractor. See Landscape Specifications for warranty requirements/expectations.
25. Stake all evergreen and deciduous trees as shown in the planting detail and as per the Landscape Specifications.
26. Remove stakes and guying from all trees after one year from planting.

The density requirements shown on the Tree Preservation and/or Replacement Plan(s) must be verified prior to the issuance of the Certificate of Occupancy or acceptance of the Final Plat. A performance bond, letter-of-credit or escrow account will be accepted if plant materials must be installed at a later date.

A landscape conference is required for this project prior to any finish landscaping. Call the Cobb County Arborist at (770) 528-2124 or Landscape Architect at (770) 528-2149. There are critical factors on the landscape plan that affect both the general contractor and the landscape contractor. Planting area dimensions, planting methods and as well as plant materials must be in accordance with the approved plan, or the landscape inspector may delay the release of the certificate of occupancy.

NOTE: No permanent sign(s), flag pole(s), proposed fire hydrants, power transformers, sidewalks or ADA ramps will be placed in conflict with an ordinance coded or approved tree planting location.



CLIENT:

CALIBER CAR WASH
4865 FLOYD RD
COBB COUNTY, GA

PROJECT INFORMATION:



REVISION SCHEDULE:

<u>NO.</u>	<u>DATE</u>	<u>BY</u>	<u>DESCRIPTION</u>
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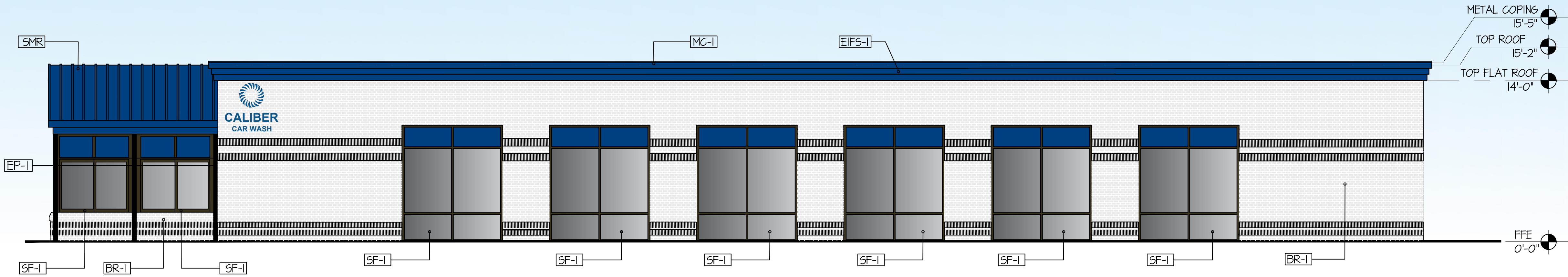
MLD PROJECT # :	2022198
DRAWN BY:	KCN
CHECKED BY:	ADN
DATE:	9.09.22

Landscape Plan

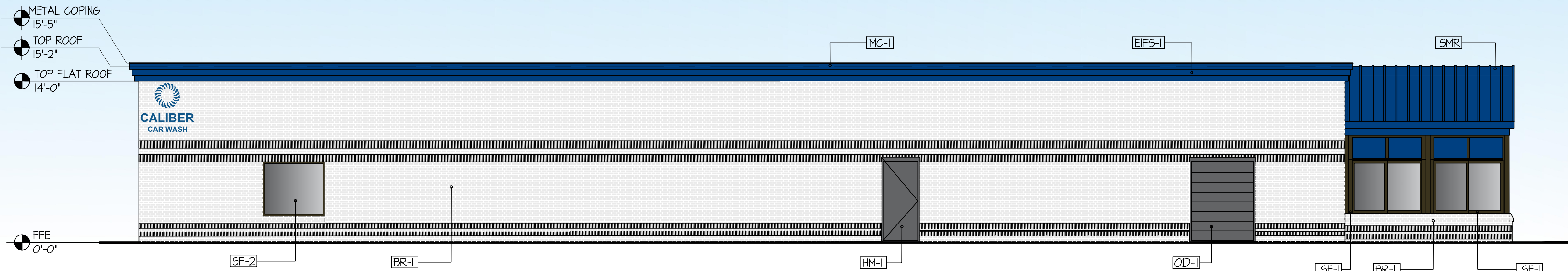
PERMIT

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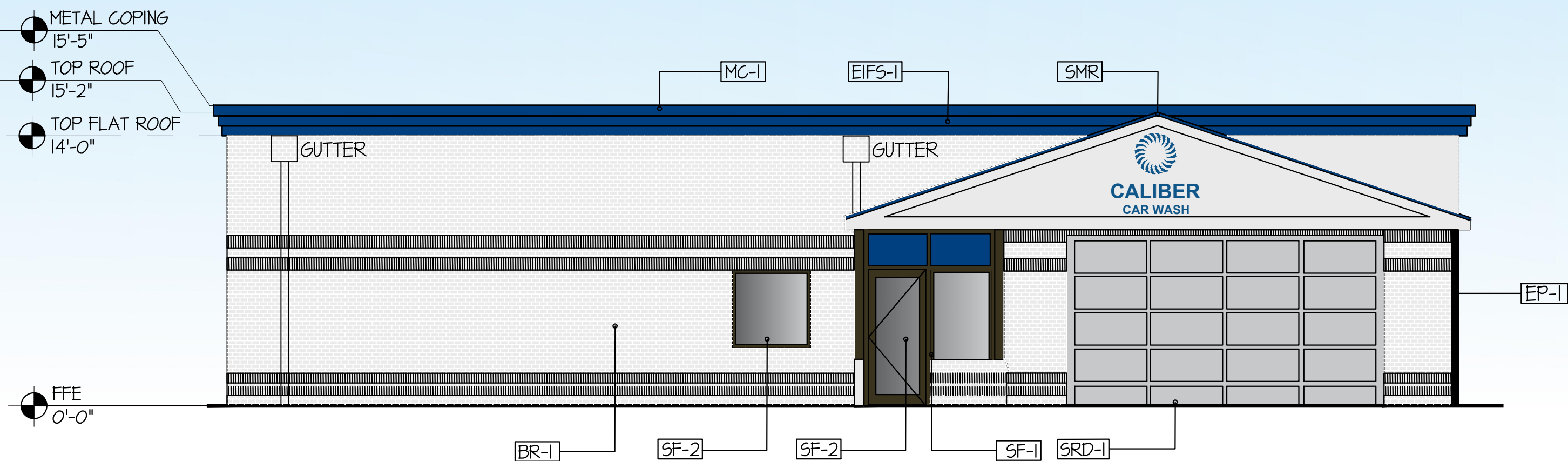
11:56 6/9/2022 11:55 AM ROUSH25



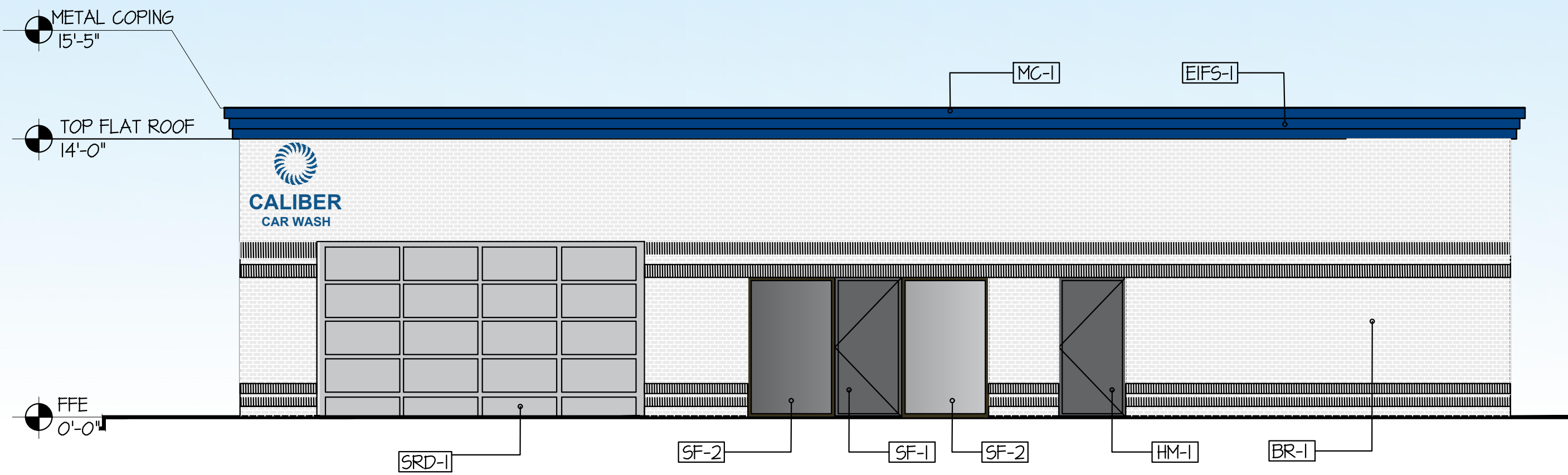
LEFT SIDE ELEVATION
3/16" = 1'-0"



RIGHT SIDE ELEVATION
3/16" = 1'-0"



FRONT ELEVATION
3/16" = 1'-0"



REAR ELEVATION
3/16" = 1'-0"

EXTERIOR FINISH MATERIAL LEGEND:

MARK	MATERIAL	SPECIFICATION
BR-1	BRICK VENEER	EXISTING MODULAR BRICK VENEER-NEW -PAINT-COLOR: SMT006; EGG SHELL
EIFS-1	EXTERIOR INSULATION FINISH SYSTEM	BASE EIFS FINE FINISH, COLOR S#6811 HONORABLE BLUE, INSTALL PER MFG'S SPECIFICATIONS
EP-1	STEEL POLES	EXISTING STEEL POLES- PAINT BLACK
EP-2	LIGHTS	EXISTING LIGHTING FIXTURE
GUT	GUTTERS	EXISTING GUTTER-PAINT-COLOR: SMT006
HM-1	HOLLOW METAL DOOR & FRAME	PAINT: S#6271 SPECIAL GRAY- SEMI-GLOSS
LOUV	INTAKE LOUVERS	EXISTING INTAKE LOUVERS-PAINT-COLOR: SMT006; EGG SHELL
MC-1	METAL COPING	EXISTING - NEW PAINT-COLOR: S#6811 HONORABLE BLUE
OD-1	OVERHEAD DOOR	OVERHEAD DOOR, PAINTED, MATCH "S#6271 SPECIAL GRAY"
SF-1	ALUMINUM STOREFRONT	ALUMINUM STOREFRONT- "DARK BRONZE ANODIZED" FINISH
SF-2	ALUMINUM STOREFRONT	ALUMINUM STOREFRONT- "DARK BRONZE ANODIZED" FINISH, BLACK SPANDREL GLASS
SMR	STANDING SEAM METAL ROOF	EXISTING STANDING SEAM METAL ROOF- NEW PAINT- COLOR: S#6811 HONORABLE BLUE
SRD-1	STEEL ROLL-UP DOOR	STEEL ROLL-UP, PAINTED, MATCH "S#6271 SPECIAL GRAY"

IMPORTANT
Contractor is to verify all
dimensions and conditions
before executing any work.

Alex Roush Architects, Inc.
2255 CUMBERLAND PARKWAY
BUILDING 100
ATLANTA, GEORGIA 30339
(770) 333-7878
FAX 333-7902

MABLETON
CALIBER CAR WASH
4865 FLOYD RD SW.
MABLETON, GA 30126

DRAWN BY:
DM/EMM
DATE: 06/09/2022
PROJ.NO. 2022.56
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AREA FOR APPROVAL STAMP